

CITY COUNCIL REPORT



Meeting Date: October 24, 2023
 General Plan Element: *Character and Design*
 General Plan Goal: *Determine the appropriateness of all development in terms of community goals, surrounding area character, and the specific context of the surrounding neighborhood.*

ACTION

Sereno Canyon Phase 4F1 Final Plat
 16-PP-2017#23

Request to consider the following:

1. Request by owner for approval of a final plat to replat Sereno Canyon Plat Phase 4F1, on +/-6.49 acres of a 350-acre site, as per Phase 4 of the Sereno Canyon Community Phasing Plan and Final Plat, to establish 17 resort units, within the Resort/Townhouse Residential, Environmentally Sensitive Lands (R-4R ESL) zoning portion of the site, located in the southeastern portion of the site, generally located along N. 128th Street.

Goal/Purpose of Request

The proposed final plat, Sereno Canyon Phase 4F1, will establish seventeen (17) of the 299 approved key cottage resort units, within the Phase 4 portion of the resort/spa development. Phase 4 contains 127.62 acres of the 350-acre Sereno Canyon site. This proposed final plat is the first of two phases for the Sereno Canyon Phase 4F portion of the development.

Key Items for Consideration

- The Dynamite Foothills Character Area Plan
- No public input received regarding the proposed plat
- Proposed phasing plan for the Sereno Canyon Phase 4F portion of the development

LOCATION

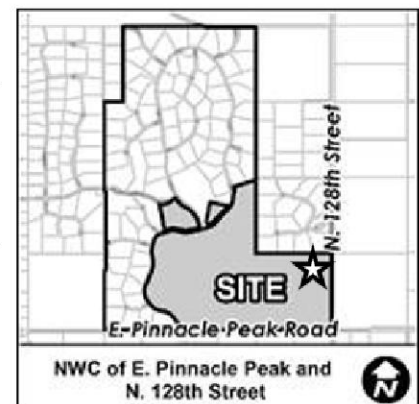
Generally located between E. Alameda Road and the E. Pinnacle Peak Road alignment (along N. 128th Street, and E. Sereno Canyon Parkway)

OWNER

Toll Brothers
 (480) 314-6711

APPLICANT CONTACT

Jorge Garre
 Argus Consulting
 (480) 596-1131



BACKGROUND

General Plan

The General Plan Land Use Element describes the Resort/Tourism land use designation as accommodating a variety of hotel and resort uses that can be freestanding or part of a resort community or master-planned development.

The existing approvals allow a total of 397 units on the 350-acre site with a combination of estate lots and a resort/spa development (44 original estate lots, 54 resort villas/casitas, and 299 key cottage resort units). The entire Sereno Canyon Resort and Spa project proposes various types of resort-style living units to meet the differing demands of consumers. The final resort/spa development will eventually include 296 units (299 approved) in a variety of dwelling types and products. The phasing of the subject site was approved by the Development Review Board on June 21, 2018.

Character Area Plan

The General Plan establishes Character Area Planning as a means of ensuring that the quality of development and consistency of character implement the Scottsdale General Plan within the context of community-wide goals. The property is located within the Dynamite Foothills Character Area boundary. Dynamite Foothills Character Area is designed to preserve the natural and visual qualities of the Sonoran Desert by using design qualities, building materials, and construction techniques that are sensitive to the desert environment. Projects located within the Dynamite Foothills Character Area should preserve natural open space areas, scenic and vista corridors, and support trail links and connections.

Zoning

This portion of the Sereno Canyon Resort and Spa project site is zoned Resort/Townhouse Residential, Environmentally Sensitive Lands (R-4R ESL) zoning. City Council approved a General Plan and Zoning District Map Amendment to include the existing zoning district in December 2012.

Context

The Sereno Canyon resort subdivision is located at the northwest corner of East Pinnacle Peak Road and North 128th Street, with the entire site stretching from East Pinnacle Peak Road, northward, to East Ranchgate Road. The subject final plat is more specifically located along N. 128th Street and E. Sereno Canyon Parkway, located within the southeastern portions of the development. Please refer to context graphics attached.

Surrounding properties, also located within the Sereno Canyon project area, are also zoned Resort/Townhouse Residential District, Environmentally Sensitive Lands (R-4R/ESL) zoning district. The McDowell Sonoran Preserve is located immediately adjacent to the site's southern boundary. The McDowell Sonoran Preserve is zoned with the Single-family Residential District, Environmentally Sensitive Lands (R1-130/ESL) zoning district. Please refer to context graphics attached.

Adjacent Uses and Zoning

- North: Asteria Highlands, Single-family, Environmentally Sensitive Lands, zoned R1-35/ESL
- South: Sereno Canyon Phase 4H, Resort/Townhouse Residential, zoned R-4R ESL
- East: Undeveloped, Storyrock Subdivision, zoned PCD ESL

- West: Sereno Canyon Phase 4E, Resort/Townhouse Residential, zoned R-4R ESL

Other Related Policies, References:

36-ZN-1984, 113-ZN-1984, 11-TA-2000#3, 1-ZN-2005, 22-PP-2005#2, 2-PP-2008, 2-PP-2008#2, 1-ZN-2005#2, 10-GP-2011, 16-ZN-2011, 13-PP-2013, 51-DR-2017, 4-AB-2018, 16-PP-2017, 16-PP-2017#2, 16-PP-2017#3, 16-PP-2017#4, 16-PP-2017#5, 16-PP-2017#6, 16-PP-2017#7, 16-PP-2017#8, 16-PP-2017#9, 16-PP-2017#10, 16-PP-2017#13, 16-PP-2017#14, 16-PP-2017#15, 16-PP-2017#16, 16-PP-2017#17, 16-PP-2017#18, 16-PP-2017#19, and 16-PP-2017#20, 16-PP-2017#21, 16-PP-2017#22, 16-PP-2017#25, 16-PP-2017#26, 16-PP-2017#27, and 1-PP-2022

1999 Dynamite Foothills Character Area Plan

2035 City of Scottsdale General Plan

2003 Scenic Corridor Design Guidelines

2004 Trails Master Plan

2004 Environmentally Sensitive Lands Ordinance

2014 Transportation Master Plan

APPLICANT'S PROPOSAL

Development Information

The resort units have been identified within the R-4R/ESL zoning designation of the site. This development proposal includes creating the associated tracts that will assist with drainage, access, utilities, and Natural Area Open Space (NAOS) requirements. The original Sereno Canyon approvals (1-ZN-2005#2, 10-GP-2011, 16-ZN-2011, 51-DR-2017, and 16-PP-2019) identified the resort use, estate lots, casita units, and keyed cottage units.

Case 16-PP-2017 created four (4) parcels (phases) for the future development of the Sereno Canyon Resort/Spa community. Approved Phase 4 will hold the majority of the key units and the actual resort lodge. The phasing of the subject site was approved by the Development Review Board on June 21, 2018. The phases were designed to help plan the development of the overall site. Each phase of the project was expected to be brought back for final approval by the City Council. This request is the twelfth request associated with the replat of Phase 4.

The resort guest villas and casitas were identified to be in the central portion of the site and the main resort/spa building will be located at the southeast portion of the site. The main resort/spa building was identified as the front desk, dining room, and service amenity functions.

IMPACT ANALYSIS

Plat

This proposed final plat will increase the number of existing lots, within the Sereno Canyon, Phase 4 area, from 263 to 280, by replatting these portions of Phase 4F, to create an additional seventeen (17) lots and associated tracts. There will be further phases in the future to yield the remaining 19 resort lots within the R4-R/ESL area, as approved per case 16-ZN-2011. The approval of the subject platting phase will bring the total number of lots within the entire Sereno Canyon project to 376, of the approved 397.

Sereno Canyon Phase 4F has been approved to include a total of twenty-seven (27) resort units. The proposed final plat will establish seventeen (17) of those lots. The remaining ten (10) resort units will be platted in a future phase (Sereno Canyon Phase 4F2).

These proposed subdivision plats have been designed to meet all applicable city requirements, including access and utility service.

Transportation/Trails

Access to the development is currently provided, and will continue to be provided, by two entrances: East Ranch Gate Road and North 128th Street. Currently, the site has access from East Alameda Road, to the west, and East Ranch Gate Road to the north, through private streets within the Sereno Canyon subdivision. All internal-street improvements have been reviewed, permitted, and completed. The owner has, since the previous plat approval, improved East Ranch Gate Road from the existing gatehouse, located in the north-central portion of the site, to North 128th Street.

Access to the proposed development will continue to be provided from East Alameda Road, to the west, and East Ranch Gate Road to the north, through private streets, until such time that North 128th Street (Minor Collector street) to the east is constructed to a minimum 24-foot-wide paved standard. In the meantime, the resort/spa and resort units are proposed to be accessed from the existing East Ranchgate Road entrance by 125th Street (private). The applicant has been requested by some area residents, and complied through a private agreement, to close the Alameda Road entrance, restricting its use to emergency vehicles only.

The project is planned as having integrated trails and open space areas to complement the Tom's Thumb Trailhead within the McDowell Sonoran Preserve by providing a streetscape with an enhanced scenic corridor setback along North 128th Street.

Water/Sewer

The Water Resources Department has reviewed the applications and finds that there are adequate water and wastewater services for the proposed use.

Public Safety

The Public Safety Department has reviewed the application and finds that there is adequate ability to provide fire and police services for the proposed use. Overall, emergency and non-emergency activities in Scottsdale are continually monitored and tracked to evaluate the effectiveness of service delivery and to identify any potential future public safety resource needs for the community. In addition, a 24-foot-wide Emergency and Service Vehicle Access easement has been provided over all proposed drive aisles to provide internal circulation and accommodations for fire truck access and maneuverability, as well as all Fire Ordinance requirements.

Open Space/NAOS

The previously approved General Plan amendment case (10-GP-2011), and zoning district map amendment cases (1-ZN-2005#2 and 16-ZN-2011), identified a total of 176.7 acres of Natural Area Open Space (NAOS) to be dedicated by the four phases of the Sereno Canyon final plat. This phase, Phase 4F1, identifies an updated master NAOS plan for the entire Sereno Canyon project. This phase shall dedicate 2.59 acres of NAOS. A refinement of the building envelopes has identified additional NAOS that shall be dedicated once the Sereno Canyon project has been completed. The

overall NAOS dedicated by all four phases will eventually total 183.8 acres. This acreage is an increase of 7.1 acres of NAOS from the originally approved case.

Policy Implications

This final plat is consistent in density previously approved in the zoning district map amendment case. All stipulations and ordinance requirements have been addressed. Approval of this request will enable the final plat to be recorded, establishing the lots.

OTHER BOARDS & COMMISSIONS

Development Review Board

Development Review Board heard this case as a preliminary plat request on June 21, 2018, and recommended approval with a 6-0 vote.

City Council

City Council approved the associated final plat case, Sereno Canyon Phase 4, on August 28, 2018, with a 7-0 vote.

Staff Recommendation to Development Review Board

Staff recommended that the Development Review Board approve Sereno Canyon Phase 4 Plat, finding that the provisions of the Land Division Ordinance and the Development Review Board Criteria had been met.

STAFF RECOMMENDATION

Recommended Approach:

Staff recommends that the City Council approve the Sereno Canyon Phase 4F1 final plat.

RESPONSIBLE DEPARTMENT

Planning and Development Services

Current Planning Services

STAFF CONTACT

Jesus Murillo
Senior Planner
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APPROVED BY



Jesus Murillo, Report Author

9-28-2023

Date



Tim Curtis, AICP, Current Planning Director
480-312-4210, tcurtis@scottsdaleaz.gov

10/10/2023

Date



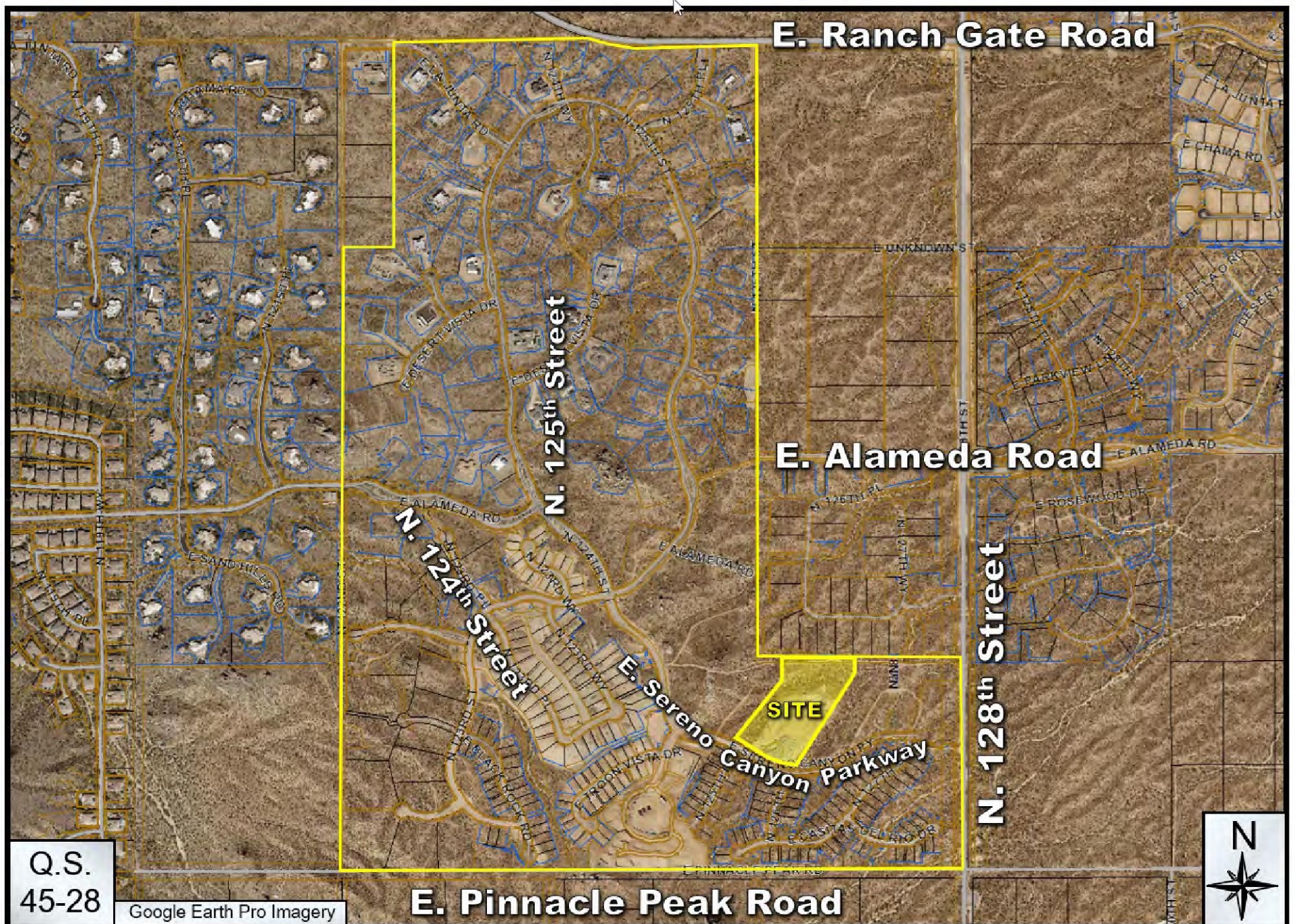
Erin Perreault, AICP, Executive Director
Planning and Development Services
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10/06/2023

Date

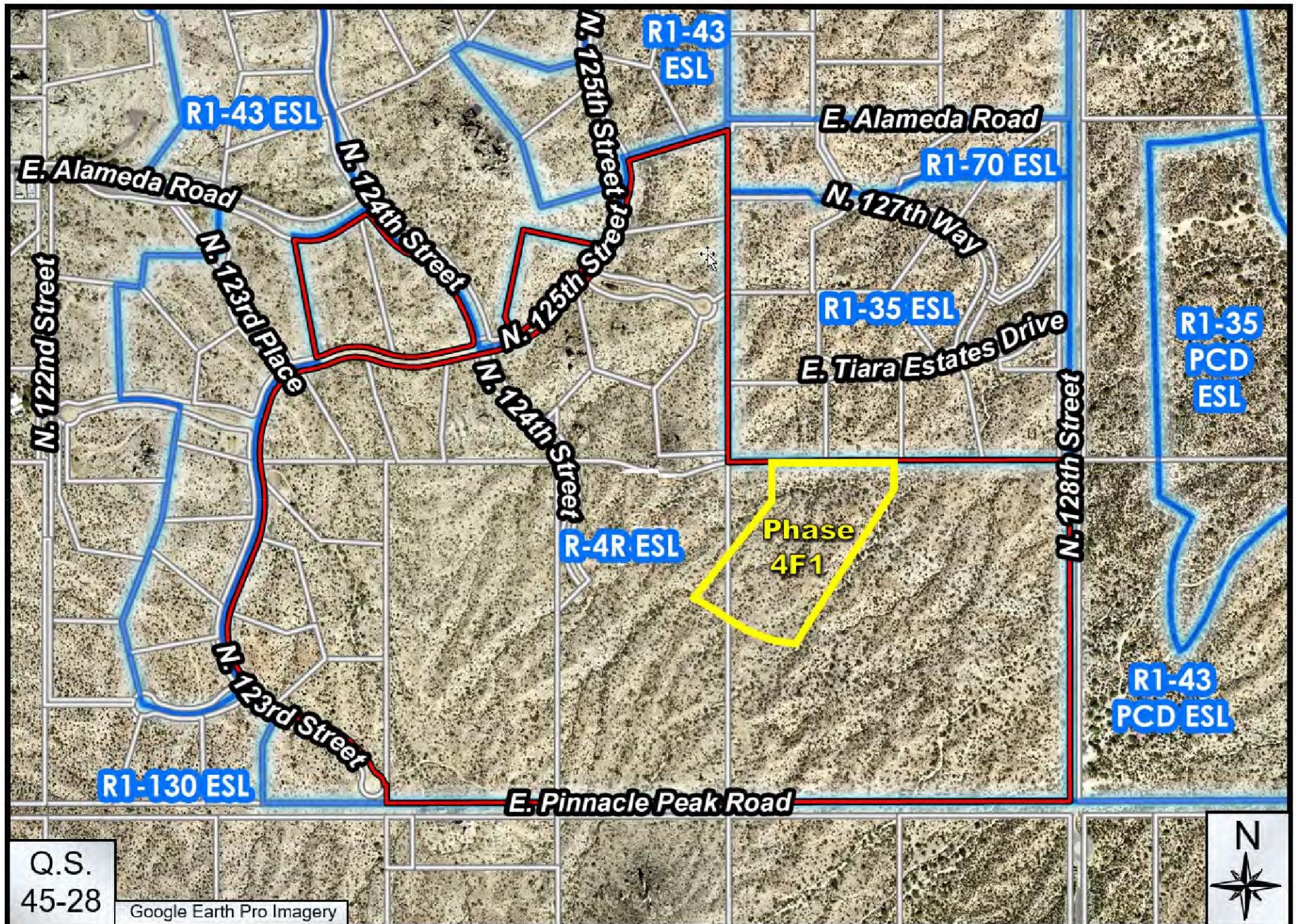
ATTACHMENTS

1. Context Aerial
- 1A. Aerial Close-Up
2. Zoning Map
3. Project Narrative
4. DRB Approved Preliminary Plat
5. DRB Approved Phasing Plan with Proposed Phase 4F1 Identified
6. Proposed Sereno Canyon 4F1 and Future 4F2 Phasing Plan
7. City Council Approved and Proposed Units by Phase
8. Final Plat (Sereno Canyon Phase 4F1)
9. Sereno Canyon Phase 4F1 NAOS Plan
10. Sereno Canyon 4F1 Landscape Plans
11. Master Natural Area Open Space Plan



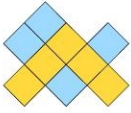
Context Aerial

16-PP-2017#23



Zoning Aerial Map

16-PP-2017#23



SERENO CANYON

Parcel F1 Narrative

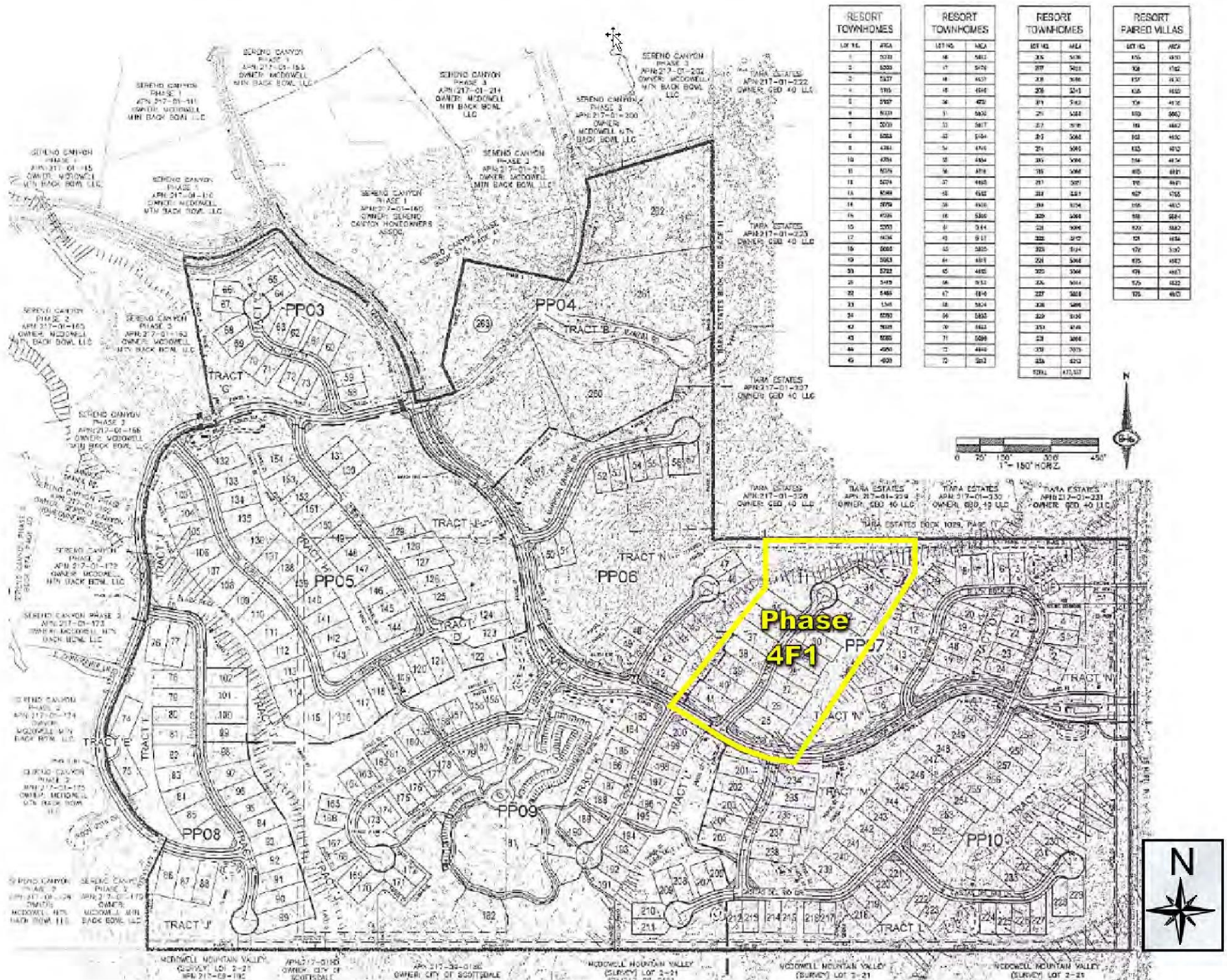
Sereno Canyon Phase 4, Parcel F1, 6.49-acre property is located north of the E. Sereno Canyon Parkway and N. 126th Place intersection. The proposed subdivision has Sereno Canyon Parcel G as its western boundary. Primary access serving the proposed single-family development will be provided by N. 126th Place.

Related Cases on Sereno Canyon property includes:

36-ZN-1984, 113-ZN-1984, 11-TA-2003#3, 1-ZN-2005, 1-ZN-2005#2, 22-PP-2005, 2-PP-2008, 2-PP-2008#2, 10-GP-2011, 16-ZN-2011, 19-PP-2013, 16-PP-2017 & 51-DR-2017.

16-PP-2017 City Council approved Preliminary Plat for Parcel F1 for 17 residential units, including Natural Area Open Space plan, water and wastewater reports, and the storm water management report.

The proposed final plat conforms to the approved Case 16-PP-2017 documents and stipulations. Parcel F1 site improvements comprise of 17 residential lots, N. 126th Place Road, waterlines, fire hydrants, sewer lines, culverts, detention basins, landscape areas and irrigation lines.



RESORT TOWNHOMES	
LOT #	AREA
1	2030
2	5200
3	5207
4	1995
5	5707
6	8103
7	2000
8	5003
9	4381
10	4384
11	8026
12	5024
13	8048
14	8076
15	4506
16	8080
17	6036
18	6080
19	5063
20	5702
21	5449
22	5465
23	1544
24	5790
25	7009
26	4901
27	4909

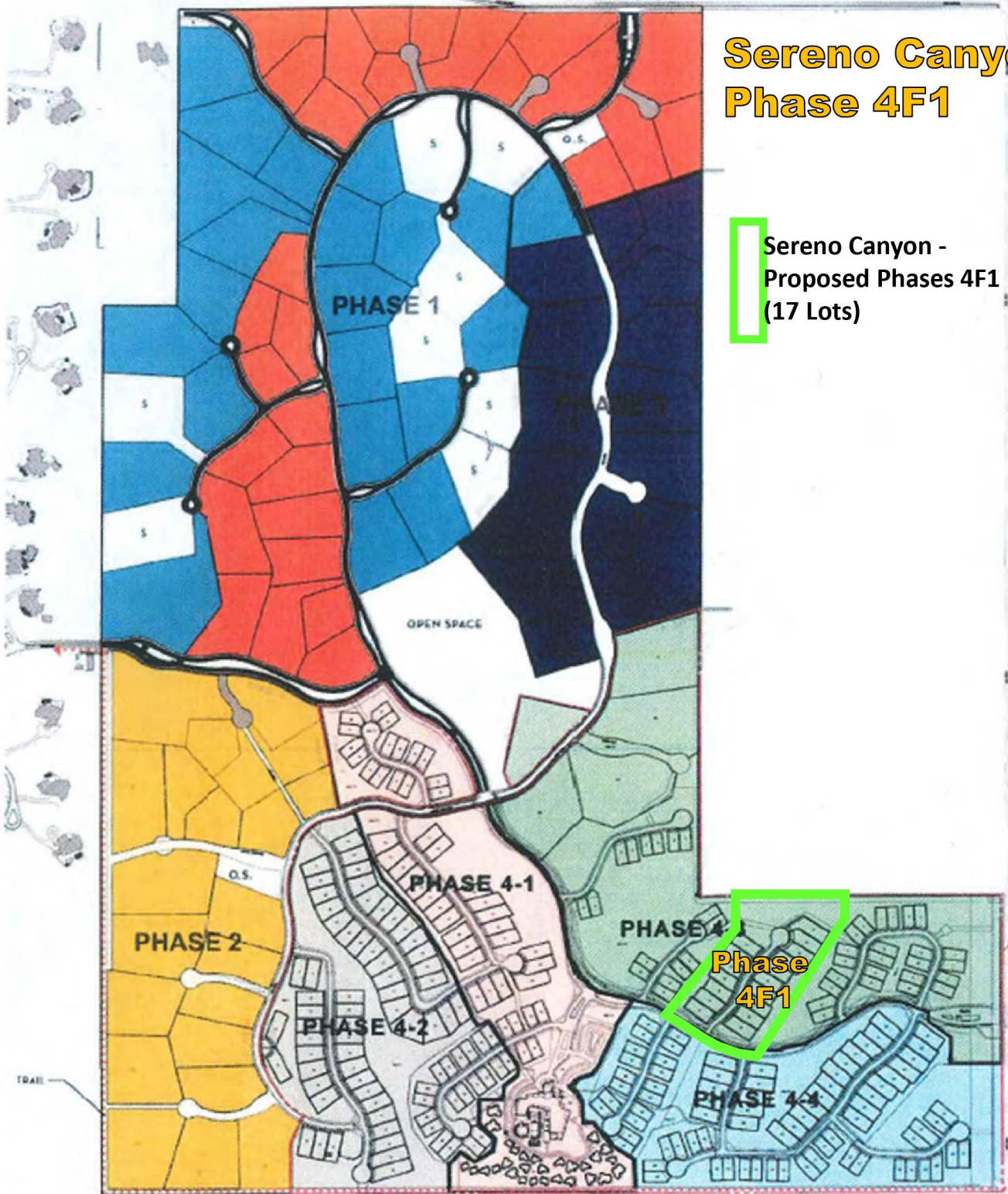
RESORT TOWNHOMES	
LOT #	AREA
28	5811
29	5029
30	4037
31	4044
32	402
33	5820
34	5817
35	504
36	404
37	400
38	402
39	400
40	400
41	400
42	400
43	400
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RESORT TOWNHOMES	
LOT #	AREA
46	5036
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Sereno Canyon Phase 4F1

Sereno Canyon -
Proposed Phases 4F1
(17 Lots)

N. 128th Street



LEGEND

PHASE 1-3 ESTATE LOTS

- 22 LOTS — PHASE 1 - Available before reglat
- 8 LOTS — PHASE 1 - Available before reglat - SOLD
- 34 LOTS — PHASE 1 - Final Platting / cul-de-sac / new services
- 17 LOTS — PHASE 2 - Final Platting & Loop Rd
- 17 LOTS — PHASE 2 - Final Platting & Road Construction

ROADWAY IMPROVEMENTS

- Paved Roads
- New cul-de-sacs

PHASE 4 LOTS

- 48 LOTS — PHASE 4-1 - 22 duplex / 24 casita
- 77 LOTS — PHASE 4-2 - 20 duplex / 57 casita
- 43 LOTS — PHASE 4-3 - 2 casita / 40 duplex / 17 casita
- 77 LOTS — PHASE 4-4 - 44 duplex / 31 casita

* Lot count does not include bridge cottages

** Includes Phase 3 lot shown

Future trail connection

LOT SUMMARY

	CUSTOM ESTATE	60x120 CASSIDA	90x180 DUPLEX	TOTAL
PHASES 1-3	96			96
PHASE 4	4	128	128	260
	94	128	128	350



Sereno Canyon Phase 4F1

LEGEND


PHASE 1-3 ESTATE LOTS

- 22 LOTS - PHASE 1 - Available before replat
- 7 LOTS - PHASE 1 - Available before replat - SOLD
- 29 LOTS - PHASE 1 - Final Platting / cul-de-sacs / new services
- 18 LOTS - PHASE 3 - Final Platting & Loop Rd
- 22 LOTS - PHASE 2 - Final Platting & Road Construction


ROADWAY IMPROVEMENTS



Paved Roads

 Sereno Canyon - Phase 4 Boundary (299 Lots Approved)

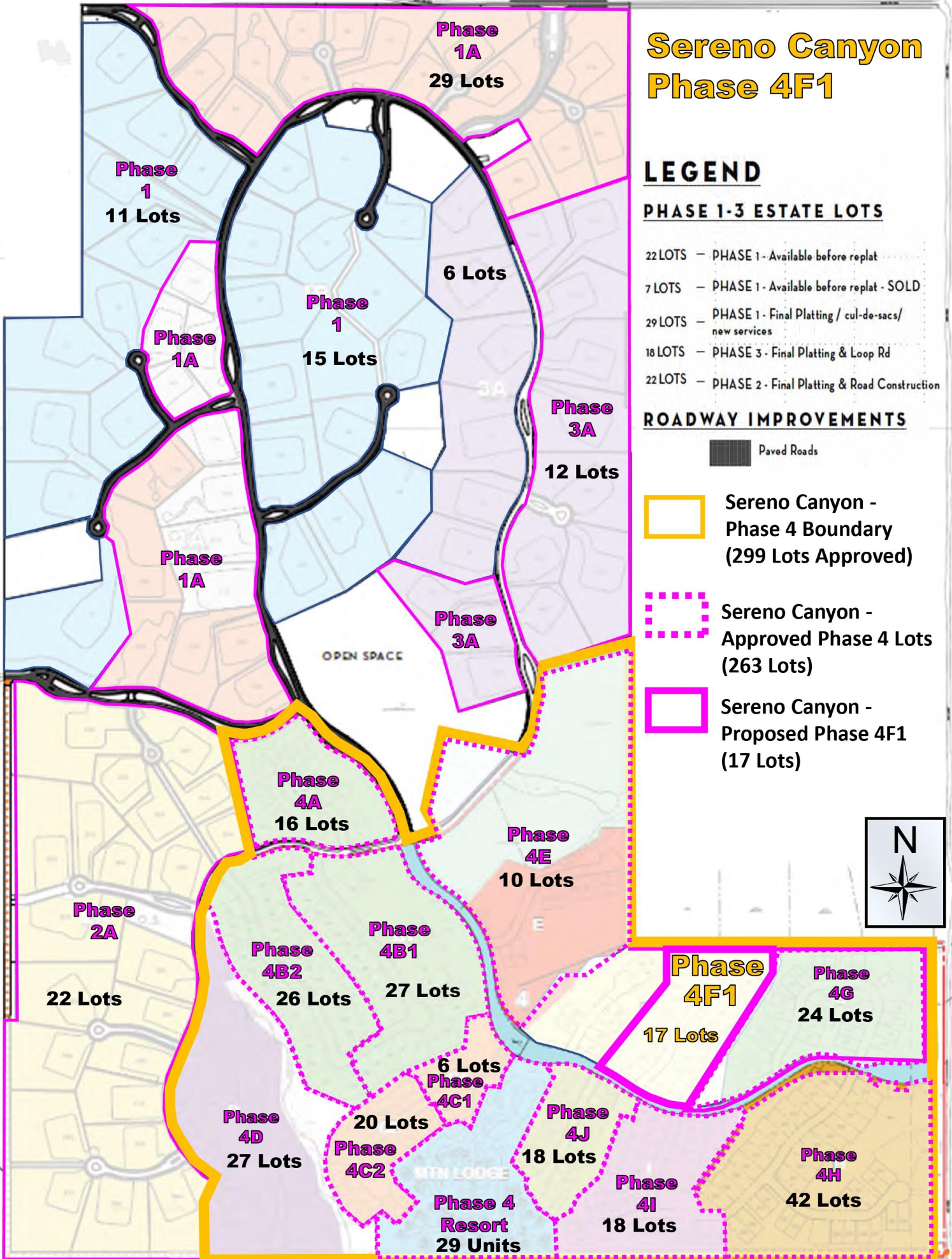
 Sereno Canyon - Approved Phase 4 Lots (263 Lots)

 Sereno Canyon - Proposed Phase 4F1 (17 Lots)



N. 128th Street

BATH STREET



DEDICATION

STATE OF ARIZONA

COUNTY OF MARICOPA

KNOW ALL MEN BY THESE PRESENTS:

THAT TOLL BROTHERS AZ CONSTRUCTION COMPANY, AN ARIZONA CORPORATION, AS OWNER, HAVE SUBDIVIDED UNDER THE NAME "SERENO CANYON PARCEL F1 PHASE 4", A REPLAT OF A PORTION OF LOT 3B OF THE FINAL PLAT FOR "SERENO CANYON PARKWAY", AS RECORDED IN BOOK 1600 OF MAPS, PAGE 27 IN THE COUNTY RECORDER'S OFFICE, COUNTY OF MARICOPA, STATE OF ARIZONA, AS SHOWN ON THIS FINAL PLAT, THIS PLAT SETS FORTH THE LOCATION AND GIVES THE DIMENSIONS OF THE LOTS, TRACTS, STREETS AND EASEMENTS CONSTITUTING THE SUBDIVISION. EACH LOT, TRACT, STREET, AND EASEMENT SHALL BE KNOWN BY THE NUMBER, LETTER, NAME, OR DESCRIPTION GIVEN EACH RESPECTIVELY ON THIS PLAT. THE EASEMENTS ARE DEDICATED FOR THE PURPOSES, AND SUBJECT TO THE CONDITIONS, STATED.

PRIVATE STREETS

TOLL BROTHERS AZ CONSTRUCTION COMPANY, AN ARIZONA CORPORATION, OWNER, GRANTOR, DECLARES THE PRIVATE STREETS SHOWN HEREON AS TRACT "A", AS PRIVATE ACCESS WAYS, NOT DEDICATED TO THE PUBLIC FOR ITS USE EXCEPT AS EXPRESSLY STATED HEREON. THE GRANTOR AND ITS SUCCESSORS SHALL MAINTAIN, REPAIR AND REPLACE THE PRIVATE STREETS. THE CITY HAS NO OBLIGATION TO MAINTAIN, REPAIR AND REPLACE THE PRIVATE STREETS ARISING FROM THIS PLAT.

TOLL BROTHERS AZ CONSTRUCTION COMPANY, AN ARIZONA CORPORATION, OWNER, GRANTOR, DOES HEREBY GRANT TO THE COMMUNITY ASSOCIATION:

- TRACT B IS DECLARED AS COMMON AREA AND SHALL BE OWNED, LANDSCAPED AND MAINTAINED BY COMMUNITY ASSOCIATION.
- THE PRIVATE STREETS SHOWN HEREON AS TRACT "A" ARE DECLARED AS PRIVATE ACCESS WAYS, TO BE OWNED AND MAINTAINED BY THE COMMUNITY ASSOCIATION. THE FOLLOWING EASEMENTS ARE HEREBY DEDICATED OVER TRACT "A", WATER AND SEWER FACILITIES (WSF), EMERGENCY AND SERVICE ACCESS (ESA), PUBLIC UTILITY (PU) AND DRAINAGE AND FLOOD CONTROL (DFC).

TOLL BROTHERS AZ CONSTRUCTION COMPANY, AN ARIZONA CORPORATION, OWNER, GRANTOR, DEDICATES TO THE CITY OF SCOTTSDALE, AN ARIZONA MUNICIPAL CORPORATION, GRANTEE, THE EASEMENTS AS SHOWN HEREON, SUBJECT TO THE CONDITIONS STATED.

DRAINAGE AND FLOOD CONTROL (DFC): A PERPETUAL, NON-EXCLUSIVE EASEMENT SHOWN HEREON UPON, OVER, UNDER AND ACROSS THE PROPERTY ON THIS PLAT, FOR DRAINAGE AND FLOOD CONTROL AND ALL RELATED PURPOSES, INCLUDING WITHOUT LIMITATION, CONSTRUCTION, MAINTENANCE, OPERATION, REPLACEMENT, AND REPAIR OF LEVEES, DIKES, DAMS, STORMWATER STORAGE BASINS, STORM DRAINS, CHANNELS, IMPROVEMENTS, WASHES, WATERCOURSES AND OTHER DRAINAGE OR FLOOD CONTROL FACILITIES (COLLECTIVELY, DRAINAGE FACILITIES), SUBJECT TO THE FOLLOWING:

- GRANTOR IS RESPONSIBLE FOR ALL DRAINAGE FACILITIES ON THE PROPERTY.
- GRANTOR SHALL NOT CONSTRUCT, OBSTRUCT OR ALTER ANY DRAINAGE FACILITIES ON THE PROPERTY WITHOUT GRANTEE'S PRIOR WRITTEN CONSENT.
- DRAINAGE FACILITIES ON THE PROPERTY MUST NOT BE OBVIOUS. LACK OF AWARENESS OF DRAINAGE FACILITIES DOES NOT EXCUSE FAILURE TO PERFORM THE REQUIREMENTS OF THIS DOCUMENT.
- AT GRANTOR'S EXPENSE, GRANTOR SHALL MAINTAIN DRAINAGE FACILITIES IN GOOD CONDITION; REPLACE AND REPAIR DRAINAGE FACILITIES AS NECESSARY TO MAINTAIN THEIR FLOOD CARRYING OR STORAGE CAPACITY; PREVENT EROSION, AND PREVENT ANY REFUSE, DEBRIS, SEDIMENT, VEGETATION, OR OTHER OBSTRUCTION FROM ACCUMULATING IN DRAINAGE FACILITIES. GRANTEE IS NOT OBLIGATED TO PERFORM ANY SUCH WORK.
- IF, IN GRANTEE'S OPINION, GRANTOR FAILS TO DO SUCH WORK, THEN GRANTEE MAY DO THE WORK AT GRANTOR'S EXPENSE. IN ADDITION TO GRANTOR'S OTHER REMEDIES, THE COST OF THE WORK SHALL BE SECURED BY A LIEN THAT GRANTOR HEREBY GRANTS AGAINST THE PROPERTY, WITH INTEREST AT THE ANNUAL RATE OF EIGHT PERCENT (8%).
- GRANTOR SHALL INDEMNIFY, DEFEND AND HOLD GRANTEE HARMLESS AGAINST GRANTEE'S FAILURE TO PERFORM UNDER THIS DOCUMENT.

NATURAL AREA OPEN SPACE (NAOS): A PERPETUAL, NON-EXCLUSIVE EASEMENT SHOWN HEREON UPON, OVER, UNDER AND ACROSS THE PROPERTY ON THIS PLAT, FOR NATURAL DESERT OPEN SPACE PRESERVATION AS FOLLOWS:

- GRANTOR SHALL NOT USE THE PROPERTY IN ANY WAY INCONSISTENT WITH THE PRESERVATION OF THE EASEMENT IN ITS UNDISTURBED CONDITION AS PERMANENT NATURAL DESERT OPEN SPACE.
- GRANTOR SHALL NOT GRADE, GRUB OR EXCAVATE THE EASEMENT, OR CONSTRUCT ANY STRUCTURE ON THE EASEMENT, EXCEPT AS APPROVED BY GRANTEE, IN WRITING, SPECIFICALLY REFERRING TO THIS EASEMENT.
- GRANTOR SHALL RESTORE THE EASEMENT IN ACCORDANCE WITH PLANS APPROVED BY GRANTEE, IF THE EASEMENT IS DISTURBED. THE RESTORED DESERT SHALL BE PRESERVED AS DESERT OPEN SPACE.
- GRANTEE MAY ENJOY ANY VIOLATION OF THIS EASEMENT. GRANTEE MAY ENTER THE PROPERTY TO ENFORCE THIS EASEMENT. HOWEVER, THIS EASEMENT DOES NOT CREATE PUBLIC ACCESS TO THE PROPERTY.
- MENTIONING REMEDIES IN THIS EASEMENT DOES NOT LIMIT GRANTEE'S RIGHT TO OTHER REMEDIES.

PUBLIC UTILITY (PU).

A PERPETUAL, NON-EXCLUSIVE EASEMENT SHOWN HEREON UPON, OVER, UNDER AND ACROSS THE PROPERTY ON THIS PLAT, FOR ELECTRICITY, TELECOMMUNICATIONS, DATA TRANSMISSION, AND ALL OTHER MANNER OF UTILITIES, AND FOR CONSTRUCTION, OPERATION, USE, MAINTENANCE, REPAIR, AND REPLACEMENT OF IMPROVEMENTS RELATED TO UTILITIES. IN THE EASEMENT, GRANTOR SHALL NOT PLACE OR ALLOW ANY (1) TREES, HEDGES, SHRUBS OR OTHER PLANTS WHICH CAN GROW LARGER THAN 18 INCHES TALL, OR (2) HARDSCAPE, SWIMMING POOLS, SHEDS OR OTHER VERTICAL OR HORIZONTAL STRUCTURES.

SIGHT DISTANCE(SD).

A PERPETUAL, NON-EXCLUSIVE EASEMENT SHOWN HEREON UPON, OVER, UNDER AND ACROSS THE PROPERTY ON THIS PLAT, TO PRESERVE AN AREA FREE OF OBSTRUCTIONS TO ENHANCE TRAFFIC SAFETY VISIBILITY. IN THE EASEMENT, GRANTOR SHALL NOT PLACE OR ALLOW ANY BUILDINGS, WALLS, TREES, STRUCTURES, SCREENS OR OTHER OBSTRUCTIONS FROM 18 TO 36 INCHES HIGH ABOVE THE ELEVATION OF THE ADJACENT STREET. HOWEVER, THE GRANTEE MAY ALLOW POLES OR TREE TRUNKS THAT GRANTEE DETERMINES, IN WRITING, DO NOT ADVERSELY AFFECT TRAFFIC SAFETY VISIBILITY.

WATER AND SEWER FACILITIES (WSF).

A PERPETUAL, NON-EXCLUSIVE EASEMENT SHOWN HEREON UPON, OVER, UNDER AND ACROSS THE PROPERTY ON THIS PLAT FOR WATER AND SEWER PIPES AND OTHER RELATED FACILITIES, AND FOR CONSTRUCTION, OPERATION, USE, MAINTENANCE, REPAIR, MODIFICATION, REPLACEMENT OF PIPES AND OTHER RELATED FACILITIES.

EMERGENCY AND SERVICE ACCESS (ESA).

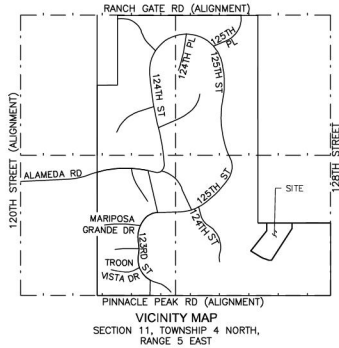
A PERPETUAL, NON-EXCLUSIVE EASEMENT SHOWN HEREON UPON, OVER, UNDER AND ACROSS TRACT "A" ON THIS PLAT, FOR ACCESS FOR EMERGENCY, PUBLIC SAFETY, REFUSE COLLECTION, UTILITY, AND OTHER SERVICE PERSONNEL AND VEHICLES AND FOR THE RIGHT TO CONSTRUCT, OPERATE, USE, MAINTAIN, REPAIR AND REPLACE IMPROVEMENTS RELATED TO ACCESS AS CITY DEEMS NECESSARY FOR ACCESS PURPOSES.

PUBLIC NON-MOTORIZED ACCESS (PNMA).

A PERPETUAL, NON-EXCLUSIVE EASEMENT SHOWN HEREON, UPON, OVER, UNDER AND ACROSS THE PROPERTY ON THIS PLAT, FOR ACCESS AND SUBDIVISION OF THE PREMISES DESCRIBED AND PLATTED HEREON WAS MADE UNDER MY DIRECTION DURING THE MONTH OF OCTOBER, 2022; THAT THE SURVEY IS TRUE AND COMPLETE AS SHOWN; THAT THE MONUMENTS SHOWN OR ACTUALLY EXIST OR WILL BE SET AS SHOWN; THAT THEIR POSITIONS ARE CORRECTLY SHOWN; AND THAT SAID MONUMENTS ARE SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED.

FINAL PLAT FOR SERENO CANYON - PARCEL F1 - PHASE 4

A PORTION OF LOT 3B AS RECORDED IN THE FINAL PLAT FOR SERENO CANYON, PHASE 4 RECORDED IN BOOK 1600, PAGE 27 IN THE COUNTY RECORDERS OFFICE, CITY OF SCOTTSDALE, MARICOPA COUNTY, ARIZONA
OWNER: TOLL BROTHERS AZ CONSTRUCTION COMPANY, AN ARIZONA CORPORATION.



DEDICATION(CONT.)

GRANTOR WARRANTS AND COVENANTS TO GRANTEE AND ITS SUCCESSORS AND ASSIGNS THAT GRANTEE IS LAWFULLY SEIZED AND POSSESSED OF THE PROPERTY; THAT GRANTEE HAS A GOOD AND LAWFUL RIGHT TO MAKE THE CONVEYANCE DESCRIBED HEREIN; AND THAT GRANTEE SHALL HAVE TITLE AND QUIET POSSESSION AGAINST THE CLAIMS OF ALL PERSONS. THE PERSON EXECUTING THIS DOCUMENT ON BEHALF OF A CORPORATION, TRUST OR OTHER ORGANIZATION WARRANTS HIS OR HER AUTHORITY TO DO SO AND THAT ALL PERSONS NECESSARY TO BIND GRANTEE HAVE JOINED IN THIS DOCUMENT. THIS DOCUMENT RUNS WITH THE LAND IN FAVOR OF THE GRANTEE'S SUCCESSORS AND ASSIGNS.

DATED THIS _____ DAY OF _____, 20____.

GRANTOR: TOLL BROTHERS AZ CONSTRUCTION COMPANY OF ARIZONA

BY: _____

ITS: _____

ACKNOWLEDGEMENT

STATE OF ARIZONA }
COUNTY OF MARICOPA } S.S.

THIS DOCUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 20____.

BY _____ FOR AND ON BEHALF OF TOLL BROTHERS AZ CONSTRUCTION COMPANY, AN ARIZONA CORPORATION.

NOTARY PUBLIC _____ MY COMMISSION EXPIRES _____

RATIFICATION

AS BENEFICIARY UNDER THAT CERTAIN DEED OF TRUST RECORDED IN THE COUNTY RECORDER'S OFFICE, MARICOPA COUNTY, ARIZONA, IN RECORDING NUMBER 2018-080567, THE UNDERSIGNED HEREBY RATIFIES, APPROVES AND CONFIRMS THAT THE SAID DEDICATIONS AS STATED IN THIS PLAT AS TO THE INTEREST OF THE UNDERSIGNED. THE PERSON SIGNING FOR BENEFICIARY WARRANTY AND REPRESENTS THEY HAVE POSE AND AUTHORITY TO DO SO.

BY: _____
MCDOWELL MOUNTAIN BACK BOWL LLC, AN ILLINOIS LIMITED LIABILITY COMPANY

ITS: _____ TITLE OR POSITION _____ DATE: _____

ACKNOWLEDGEMENT

STATE OF _____ }
COUNTY OF _____ } S.S.

THIS DOCUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 20____.

BY _____ FOR AND ON BEHALF OF MCDOWELL MOUNTAIN BACK BOWL LLC, AN ILLINOIS LIMITED LIABILITY COMPANY.

NOTARY PUBLIC _____ MY COMMISSION EXPIRES _____

SHEET INDEX

FP01 COVER SHEET, DEDICATION, NOTES
FP02 LOTS, TRACTS
FP03 EASEMENTS
FP04 N.A.O.S. DEDICATION
FP05 N.A.O.S. DETAILS & TABLES

SITE DATA

PARCEL F AREA = 282,764 (S.F.) 6.49 (AC.)
LOT AREA = 139,982 (S.F.) 3.21 (AC.)
TRACT AREA = 142,783 (S.F.) 3.27 (AC.)
NET AREA = 256,528 (S.F.) 5.88 (AC.)
N.A.O.S. AREA = 113,024 SQ. FT. 2.59 (AC.)
TOTAL LOTS = 17 LOTS
EXISTING ZONING = R-4R

NOTES

- THE AREA PLATTED HEREON IS APPROVED AND LIES WITHIN THE DOMESTIC WATER AREA OF THE CITY OF SCOTTSDALE WHICH IS DESIGNATED AS HAVING AN ASSURED WATER SUPPLY IN ACCORDANCE WITH ARS 45-576.
- THE STREETS ARE PRIVATE STREETS. TO BE OWNED AND MAINTAINED BY THE PROPERTY OWNERS ASSOCIATION. AFTER THIS PLAT IS RECORDED, THE CITY OF SCOTTSDALE, WILL NOT ACCEPT DEDICATION OF THE STREETS TO THE PUBLIC TO RELIEVE THE PROPERTY OWNERS ASSOCIATION OF STREET MAINTENANCE RESPONSIBILITIES UNLESS ALL STREET IMPROVEMENTS AND RIGHT-OF-WAYS MEET CURRENT APPLICABLE CITY STANDARDS.
- CONSTRUCTION WITHIN PUBLIC UTILITY EASEMENTS, EXCEPT BY PUBLIC AGENCIES AND UTILITY COMPANIES, SHALL BE LIMITED TO WOOD, WIRE OR REMOVABLE SECTION TYPE FENCING AND MUST BE IN CONFORMANCE WITH THE APPLICABLE CODES AND DESIGN GUIDELINES.
- ELECTRIC LINES ARE TO BE CONSTRUCTED UNDERGROUND AS REQUIRED BY ARIZONA CORPORATE COMMISSION GENERAL ORDER U-48.
- SIGNS REQUIRE SEPARATE APPROVALS AND PERMITS.
- COSTS FOR THE REMOVAL OF OBSTRUCTIONS AND/OR IMPEDIMENTS TO THE WATERCOURSES SHALL BE PAID BY THE PROPERTY OWNERS ASSOCIATION AND/OR PROPERTY OWNER.
- THOSE AREAS DESIGNATED AS TRACTS "A", AND "B", ARE TO BE CONVEYED AS COMMON AREA TO AN ASSOCIATION OF HOMEOWNERS AND SHALL NOT BE ACCEPTED FOR MAINTENANCE OR OTHER PURPOSES BY THE CITY WITHOUT THE EXPRESSED ACTION OF THE CITY COUNCIL BEFORE ANY IMPROVEMENT IS ACCEPTED. IT SHALL MEET CITY STANDARDS. FAILURE TO MAINTAIN THE DESIGNATED COMMON AREAS COULD RESULT IN A CIVIL ACTION BROUGHT BY THE CITY FOR COSTS INCURRED BY THE CITY FOR SAID MAINTENANCE.
- THE EXTERIOR OF THE PERIMETER WALLS, INTERIOR SITE WALLS, AND DRAINAGE WALLS SHALL BE MAINTAINED BY A PROPERTY OWNERS ASSOCIATION. ALL WALLS SHALL BE CONSISTENT WITH THE APPROVED MASTER ENVIRONMENTAL DESIGN CONCEPT PLAN.
- ALL BEARINGS AND/OR DIMENSIONS SHOWN HEREON ARE CALCULATED UNLESS OTHERWISE NOTED.
- INTERIOR PROPERTY CORNERS AND STREETS SHALL BE MONUMENTED AS SOON AS COMPLETION OF THE INFRASTRUCTURE AND IMPROVEMENTS MAKE IT PRACTICAL TO DO SO. IF SUCH MONUMENTS SHOULD DIFFER FROM THE TYPE DESCRIBED ON THE FINAL, A RECORDS OF SURVEY PLAT SHALL BE RECORDED SHOWING THESE DIFFERENCES. ALL MONUMENTS SET SHALL BE UNDER THE DIRECT SUPERVISION OF THE REGISTRANT SUBSEQUENT TO THE RECORDING OF THE FINAL PLAT. THE REPLACEMENT REGISTRANT SHALL SET THE MONUMENT WITH HIS/HER IDENTIFYING NUMBER AND A RECORD OF SURVEY PLAT IN ACCORDANCE WITH THE CITY OF SCOTTSDALE DESIGN STANDARDS AND POLICY MANUAL.
- AFFIDAVITS OF CORRECTION OR AMENDMENT TYPE LETTERS CONCERNING THIS PLAT ARE NOT VALID. THERE WILL BE NO REVISIONS TO THIS PLAT WITHOUT THE PLAT DEVELOPER'S ENGINEERING MANAGER'S APPROVAL.
- THE MAINTENANCE OF LANDSCAPING WITHIN THE PUBLIC RIGHT-OF-WAY TO BACK OF CURB SHALL BE THE RESPONSIBILITY OF THE ASSOCIATIONS OF THE PROPERTY OWNERS.
- ALL LOTS MUST CONNECT TO THE GRAVITY FLOW SEWER MAINS WITHIN THE PRIVATE STREETS. THIS CONNECTION SHALL BE ACCOMPLISHED THROUGH A GRAVITY FLOW SERVICE LINE OR AN INDIVIDUAL PUMP AN GRINDER FORCE MAIN. NO LOT SHALL BE ON SEPTIC SYSTEM.
- THIS PROPERTY LIES WITHIN CLOSE PROXIMITY TO THE SCOTTSDALE AIRPORT("THE AIRPORT"), WHICH IS LOCATED BETWEEN FRANK LLOYD WRIGHT BOULEVARD TO THE NORTH, PMA ROAD TO THE EAST, THUNDERBOLT ROAD TO THE SOUTH, AND SCOTTSDALE ROAD TO THE WEST. THE AIRPORT IS A GENERAL AVIATION RELIEVER/COMMERCIAL SERVICE AIRPORT FOR SCOTTSDALE/PHOENIX.

BASIS OF BEARING

THE EAST LINE OF THE SOUTHEAST ONE-QUARTER OF SECTION 11, TOWNSHIP 4 NORTH, RANGE 5 EAST OF THE GLA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY ARIZONA, SAID LINE BEARS NORTH 00°44'54" WEST.

LEGAL DESCRIPTION (PARENT PARCEL)

A PORTION OF LOT 3B, ACCORDING TO THE FINAL PLAT FOR SERENO CANYON PARKWAY, AS RECORDED IN BOOK 1600, PAGE 27, RECORDS OF MARICOPA COUNTY, ARIZONA, LYING WITHIN THE EAST HALF OF SECTION 11, TOWNSHIP 4 NORTH, RANGE 5 EAST, OF THE GLA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA.

APPROVALS

APPROVED BY THE COUNCIL OF THE CITY OF SCOTTSDALE, ARIZONA THIS _____ DAY OF _____, 20____.

BY: _____ MAYOR

ATTEST BY: _____ CITY CLERK

THIS PLAT HAS BEEN REVIEWED FOR COMPLIANCE WITH THE CITY OF SCOTTSDALE'S STANDARDS AND POLICY MANUAL SPECIFICATIONS.

BY: _____ CHIEF DEVELOPMENT OFFICER _____ DATE _____

THIS SUBDIVISION HAS BEEN REVIEWED FOR COMPLIANCE WITH THE CITY OF SCOTTSDALE'S CASE NO. 16-PP-2017 AND ALL THE CASE RELATED STIPULATIONS.

BY: _____ DEVELOPMENT ENGINEERING MANAGER _____ DATE _____

LAND SURVEY CERTIFICATION

THIS IS TO CERTIFY THAT THE SURVEY AND SUBDIVISION OF THE PREMISES DESCRIBED AND PLATTED HEREON WAS MADE UNDER MY DIRECTION DURING THE MONTH OF OCTOBER, 2022; THAT THE SURVEY IS TRUE AND COMPLETE AS SHOWN; THAT THE MONUMENTS SHOWN OR ACTUALLY EXIST OR WILL BE SET AS SHOWN; THAT THEIR POSITIONS ARE CORRECTLY SHOWN; AND THAT SAID MONUMENTS ARE SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED.

REGISTERED LAND SURVEYOR _____ DATE _____

STRATEGIC SURVEYING, LLC



BY

DATE

RECORD

BOOK

PAGE

DATE

FILE

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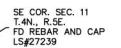
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SET BRASS CAP FLUSH PER MAG ST. DET. 120-1 "B" (UNLESS OTHERWISE NOTED)
 SET 3" REBAR WITH PLASTIC CAP "RLS 47373"(UNLESS OTHERWISE NOTED)
 _____ PARCEL BOUNDARY
 _____ R/W LINE
 _____ LOT/TRACT LINE
 _____ CENTER LINE
 _____ EASEMENT LINE
 _____ SECTION LINE
 - - - - - ADJACENT PARCEL LINE
 (M) MEASURED
 (C) CALCULATED
 (R) RECORDED BK1600, PG.27 M.C.R.
 M.C.R. MARICOPA COUNTY RECORDS
 L1 LINE TABLE NUMBER
 C1 CURVE TABLE NUMBER
 N1 N.A.O.S. LINE TABLE NUMBER
 NC1 N.A.O.S. CURVE TABLE NUMBER
 DL1 D.F.C. LINE TABLE NUMBER
 DC1 D.F.C. CURVE TABLE NUMBER
 PG. PAGE
 BK BOOK
 RLS REGISTERED LAND SURVEYOR
 P.U. PUBLIC UTILITY EASEMENT
 S.D. SIGHT DISTANCE EASEMENT
 W.S.F. WATER SEWER FACILITIES EASEMENT
 D.F.C. DRAINAGE FLOOD CONTROL EASEMENT
 P.N.M.A. PUBLIC NON-MOTORIZED ACCESS EASEMENT
 N.A.O.S. NATURAL AREA OPEN SPACE EASEMENT
 EX. EXISTING
 R/W EXISTING RIGHT OF WAY

LOT AREA TABLE	
LOT #	AREA (SQ. FT.)
279	8,526
280	8,229
281	8,212
282	8,054
283	8,036
284	8,037
285	8,333
286	8,340
287	8,256
288	9,509
289	8,063
290	8,137
291	8,017
292	8,017
293	8,217
294	8,004
295	7,995

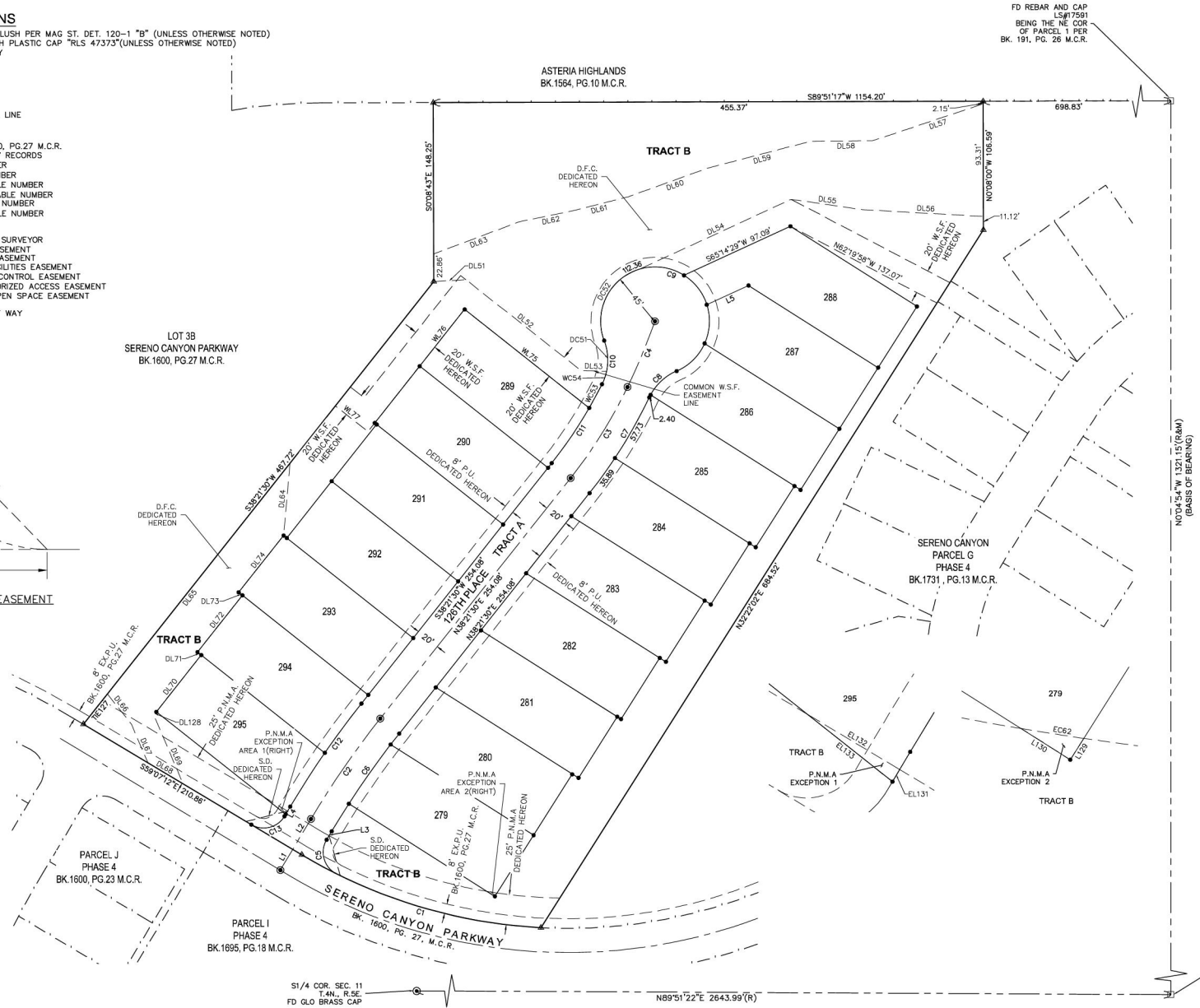
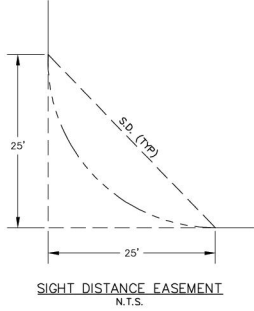


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PLAN CHECK NO. 3765-18-43

LEGEND & ABBREVIATIONS

●	SET BRASS CAP FLUSH PER MAG ST. DET. 120-1 "B" (UNLESS OTHERWISE NOTED)
△	SET 2" REBAR WITH PLASTIC CAP "RLS 47373"(UNLESS OTHERWISE NOTED)
---	PARCEL BOUNDARY
---	R/W LINE
---	LOT/TRACT LINE
---	CENTER LINE
---	EASEMENT LINE
---	SECTION LINE
---	ADJACENT PARCEL LINE
(M)	MEASURED
(C)	CALCULATED
(R)	RECORDED BK 1600, PG.27 M.C.R.
M.C.R.	MARICOPA COUNTY RECORDS
L1	LINE TABLE NUMBER
C1	CURVE TABLE NUMBER
NL1	N.A.O.S. LINE TABLE NUMBER
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DL1	D.F.C. LINE TABLE NUMBER
DC1	D.F.C. CURVE TABLE NUMBER
PG.	PAGE
BK.	BOOK
RLS	REGISTERED LAND SURVEYOR
P.U.	PUBLIC UTILITY EASEMENT
S.D.	SIGHT DISTANCE EASEMENT
W.S.F.	WATER SEWER FACILITIES EASEMENT
D.F.C.	DRAINAGE FLOOD CONTROL EASEMENT
P.N.M.A.	PUBLIC NON-MOTORIZED ACCESS EASEMENT
N.A.O.S.	NATURAL AREA OPEN SPACE EASEMENT
EX.	EXISTING RIGHT OF WAY
R/W	EXISTING RIGHT OF WAY



STRATEGIC SURVEYING, LLC

BY

DATE

REVISION

NOV

DEC

JAN

FEB

MAR

APR

MAY

JUN

JUL

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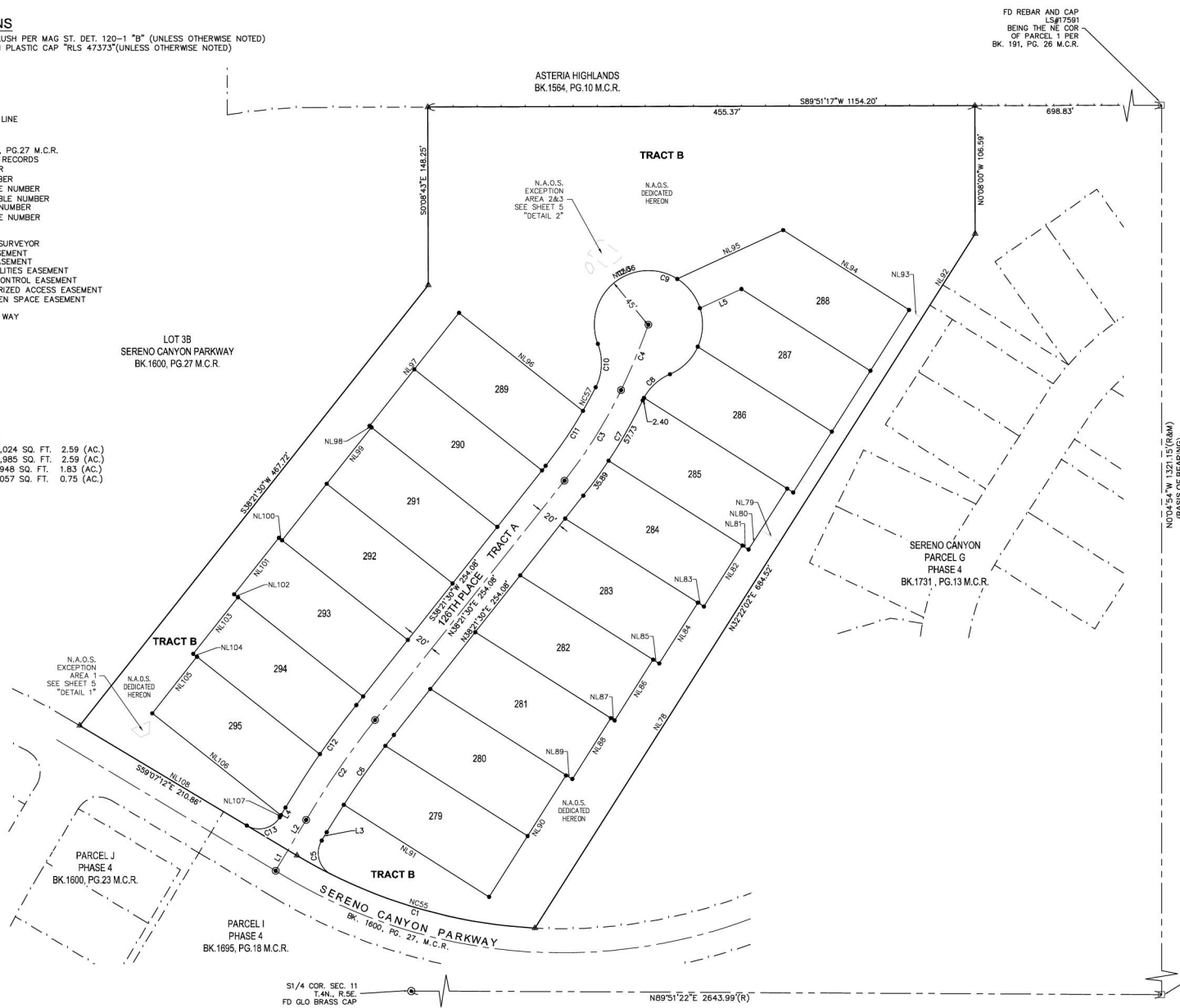
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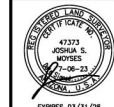
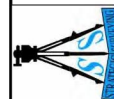
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⊙	SET BRASS CAP FLUSH PER MAG ST. DET. 120-1 "B" (UNLESS OTHERWISE NOTED)
—	SET 7 REBAR WITH PLASTIC CAP "RLS 47373"(UNLESS OTHERWISE NOTED)
—	PARCEL BOUNDARY
—	R/W LINE
—	LOT/TRACT LINE
—	CENTER LINE
—	EASEMENT LINE
—	SECTION LINE
—	ADJACENT PARCEL LINE
(M)	MEASURED
(C)	CALCULATED
(R)	RECORDED BK-1600, PG-27 M.C.R.
M.C.R.	MARICOPA COUNTY RECORDS
L1	LINE TABLE NUMBER
C1	CURVE TABLE NUMBER
N1	N.A.O.S. LINE TABLE NUMBER
NC1	N.A.O.S. CURVE TABLE NUMBER
DL1	D.F.C. LINE TABLE NUMBER
DC1	D.F.C. CURVE TABLE NUMBER
PG	PAGE
BK	BOOK
RLS	REGISTERED LAND SURVEYOR
P.U.	PUBLIC UTILITY EASEMENT
S.D.	SIGHT DISTANCE EASEMENT
W.S.F.	WATER SEWER FACILITIES EASEMENT
D.F.C.	DRAINAGE FLOOD CONTROL EASEMENT
P.N.M.A.	PUBLIC NON-MOTORIZED ACCESS EASEMENT
N.A.O.S.	NATURAL AREA OPEN SPACE EASEMENT
EX.	EXISTING
—	EXISTING RIGHT OF WAY

N.A.O.S. AREA	=	113,024	SQ. FT.	2.59	(AC.)
REQUIRED	=	112,985	SQ. FT.	2.59	(AC.)
UNDISTURBED	=	79,948	SQ. FT.	1.83	(AC.)
REVEGED	=	33,057	SQ. FT.	0.75	(AC.)



SE COR. SEC. 11
T.4N., R.5E.
FD REBAR AND CAP
LS#27239

STRATEGIC
SURVEYING, LLC

REVISION	DATE	BY

DRAWN	AV
CHECK'D	JSM
APPROV'D	JSM
DATE	7-6-23
STRATEGIC SURVEYING PROJ#	
00948-FP	
CLIENT PROJECT NUMBER	

FINAL PLAT

SERENO CANYON – PARCEL F1 – PHASE 4
PORTION OF SECTION 11
TOWNSHIP 4 NORTH, RANGE 5 EAST PER G.&S.R.B.&M.
CITY OF SCOTTSDALE ARIZONA

SHEET	4 OF 5
DRAWING NUMBER	
N.A.O.S. DEDICATION	

FP-0.04

PLAN CHECK NO. 3765-18-43

LINE TABLE		
LINE #	LENGTH	BEARING
L1	20.00	N30°52'48"E
L2	29.35	N30°52'48"E
L3	8.16	N30°52'48"E
L4	9.35	S30°52'48"W
L5	38.12	S65°14'29"W

CURVE TABLE					
CURVE #	LENGTH	RADIUS	DELTA	CHD BEARING	CHD LENGTH
C1	209.13	430.00	27°51'56"	S73°03'09"E	207.07
C2	101.15	775.00	7°28'41"	N34°37'09"E	101.08
C3	89.17	400.00	12°46'19"	N31°58'20"E	88.98
C4	59.07	582.84	5°48'24"	N22°40'58"E	59.04
C5	32.94	20.00	94°21'59"	N16°18'11"W	29.34
C6	98.54	755.00	7°28'41"	N34°37'09"E	98.47
C7	93.62	420.00	12°46'19"	N31°58'20"E	93.43
C8	32.15	45.00	40°56'06"	N46°03'13"E	31.47
C9	209.96	45.00	267°20'03"	N67°08'45"W	65.10
C10	37.28	45.00	47°27'38"	S2°55'03"W	36.22
C11	77.67	380.00	11°42'38"	S32°30'11"W	77.53
C12	103.76	795.00	7°28'41"	S34°37'09"W	103.69
C13	31.42	20.00	90°00'00"	S75°52'48"W	28.28

N.A.O.S. TABLE		
LINE #	LENGTH	BEARING
NL78	380.82	N32°22'02"E
NL79	18.53	N57°37'58"W
NL80	19.68	S32°22'02"W
NL81	6.00	N57°37'58"W
NL82	60.00	S32°22'02"W
NL83	6.00	N57°37'58"W
NL84	60.00	S32°22'02"W
NL85	6.00	N57°37'58"W
NL86	60.00	S32°22'02"W
NL87	3.67	N57°37'58"W
NL88	60.00	S32°22'02"W
NL89	6.00	N57°37'58"W
NL90	119.67	S32°22'02"W
NL91	143.19	N57°37'58"W
NL92	83.04	S32°22'02"W
NL93	12.53	N57°37'58"W
NL94	124.08	N57°37'58"W
NL95	97.09	S65°14'29"W
NL96	131.59	N51°38'30"W
NL97	120.33	S38°21'30"W
NL98	2.00	S51°38'30"E
NL99	119.33	S38°21'30"W
NL100	3.33	N51°38'30"W

N.A.O.S. TABLE		
LINE #	LENGTH	BEARING
NL101	60.67	S38°21'30"W
NL102	4.00	S51°38'30"E
NL103	60.00	S38°21'30"W
NL104	4.00	S51°38'30"E
NL105	59.67	S38°21'30"W
NL106	136.66	S51°38'30"E
NL107	2.00	S30°52'48"W
NL108	162.07	N59°07'12"W
NL110	16.58	N66°56'56"E
NL111	10.12	S3°30'49"W
NL112	7.53	S66°56'56"W
NL113	10.12	N49°37'00"W
NL115	13.35	N52°24'44"W
NL116	13.85	N37°35'16"E
NL117	17.74	S53°13'23"E
NL118	4.41	S47°30'44"W
NL119	8.45	S67°35'25"W
NL121	4.36	N72°49'31"W
NL122	2.67	S171°0'29"W
NL123	6.77	S27°49'31"E
NL124	2.67	S72°49'31"E
NL125	4.36	N171°0'29"E
NL126	4.38	N27°49'31"W

D.E. TABLE		
LINE #	LENGTH	BEARING
DL51	26.73	N86°38'23"E
DL52	121.13	S51°38'30"E
DL53	21.41	S87°38'23"E
DL54	138.02	N65°14'29"E
DL55	59.97	S81°45'51"E
DL56	100.06	S86°48'30"E
DL57	96.63	S71°29'48"W
DL58	50.94	S89°39'48"W
DL59	88.15	S75°22'28"W
DL60	70.10	S70°12'02"W
DL61	47.45	S75°48'55"W
DL62	45.44	S78°21'18"W
DL63	75.58	S69°21'55"W

D.E. TABLE		
LINE #	LENGTH	BEARING
DL64	60.12	N5°03'59"E
DL65	243.70	S38°21'30"W
DL66	32.29	S38°20'51"E
DL67	34.55	S23°03'05"E
DL68	33.97	S59°07'12"E
DL69	62.01	N23°03'05"W
DL70	59.67	N38°21'30"E
DL71	4.00	N51°38'30"W
DL72	60.00	N38°21'30"E
DL73	4.00	N51°38'30"W
DL74	60.33	N38°21'30"E
DL128	3.31	N38°28'46"E

D.E. CURVE TABLE					
CURVE #	LENGTH	RADIUS	DELTA	CHD BEARING	CHD LENGTH
DC51	25.03	45.00	33°08'24"	N41°43'35"W	25.67
DC52	74.27	45.00	94°33'40"	N26°28'04"E	66.12

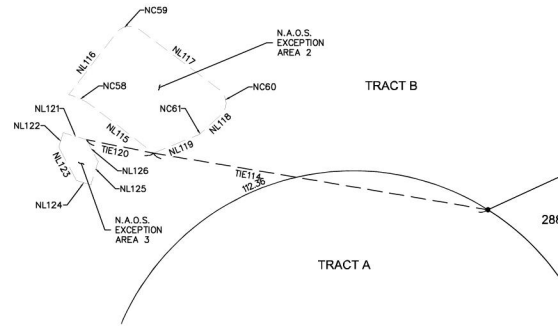
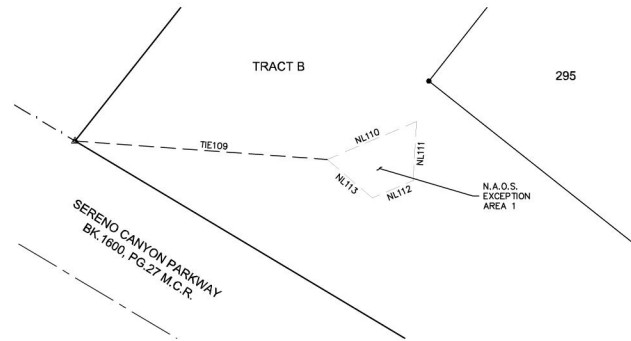
LINE TABLE		
LINE #	LENGTH	BEARING
TIE109	43.16	S85°49'31"E
TIE114	60.47	N80°23'47"W
TIE120	12.18	N78°46'13"W
TIE127	32.07	N38°21'30"E

EXCEPTION LINE TABLE		
LINE #	LENGTH	BEARING
EL131	3.00	N30°52'48"E
EL132	22.85	N59°07'12"W
EL133	23.05	N51°38'30"W
L129	3.27	S32°22'02"W
L130	7.55	N57°37'58"W

EXCEPTION CURVE TABLE					
CURVE #	LENGTH	RADIUS	DELTA	CHD BEARING	CHD LENGTH
EC62	8.22	405.00	1°09'49"	S81°01'42"E	8.22

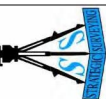
W.S.F. TABLE		
LINE #	LENGTH	BEARING
DL53	21.41	S87°38'23"E
WL75	131.59	S51°38'30"E
WL76	129.15	N38°21'30"E
WL77	34.33	S51°38'30"E

W.S.F. CURVE TABLE					
CURVE #	LENGTH	RADIUS	DELTA	CHD BEARING	CHD LENGTH
WC53	22.31	380.00	3°21'52"	N28°19'48"E	22.31
WC54	11.25	45.00	14°19'15"	N19°29'14"E	11.22



STRATEGIC
SURVEYING, LLC

2443 WEST 12TH STREET
SUITE 1
TEMPE, AZ 85281
PH: 602-272-7634



DATE	BY
REVISION	DATE

DATE	BY	DATE	BY

STANDARD SURVEYING PRACTICE
00948 - FP
CLIENT PROJECT NUMBER

FINAL PLAT

SERENO CANYON - PARCEL F1 - PHASE 4
PORTION OF SECTION 11
TOWNSHIP 4 NORTH, RANGE 5 EAST PER G.S.R.B.&M.
CITY OF SCOTTSDALE, ARIZONA

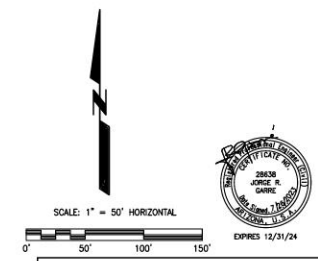
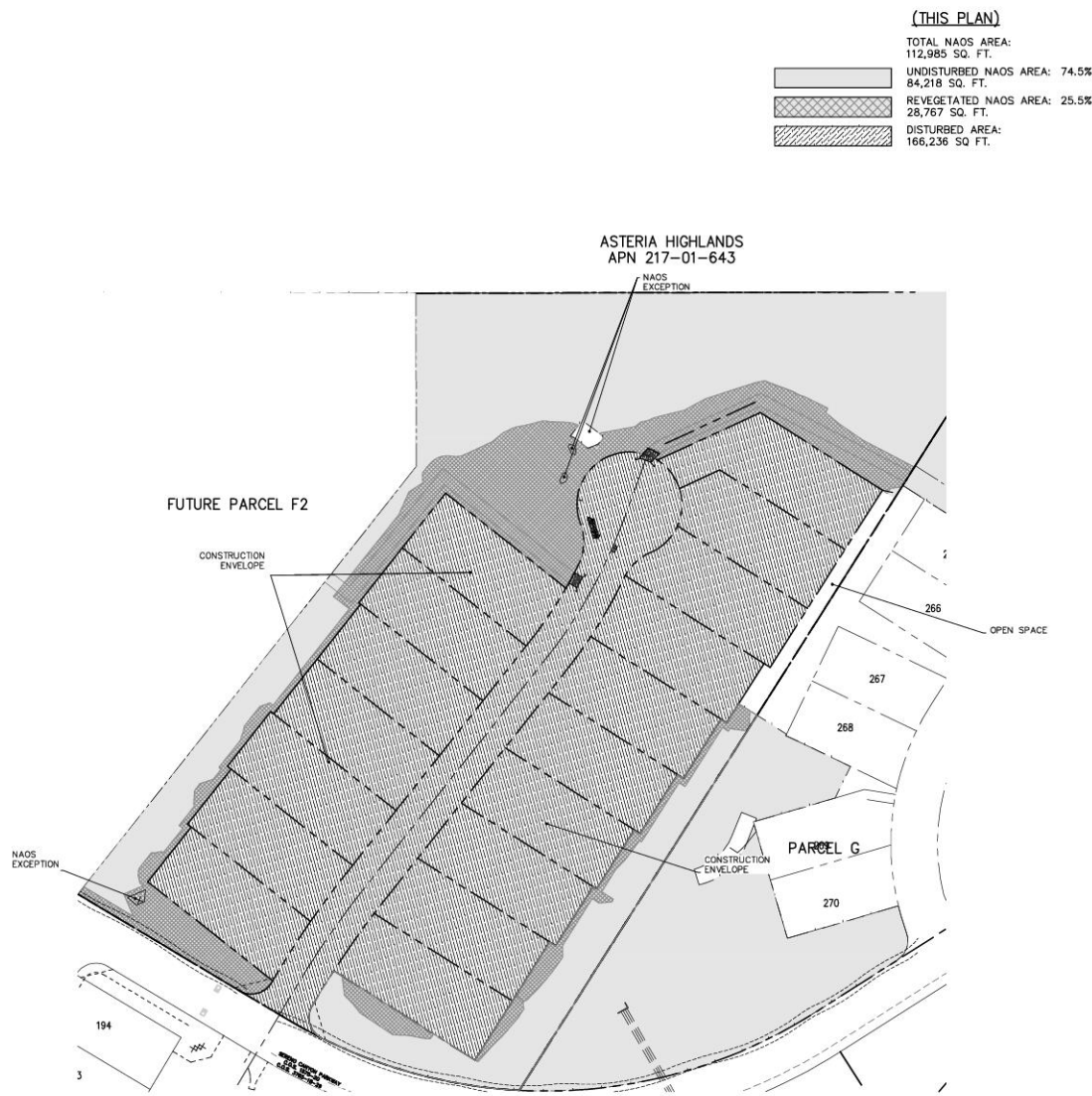
SHEET 5 OF 5

DRAWING NUMBER
TABLES AND
DETAILS

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PLAN CHECK NO. 3765-18-43

DATE: 11/15/23



ARGUS CONSULTING
A CIVIL ENGINEERING COMPANY, P.C.
28150 N. Alma School Parkway, Suite 103 - #193
Scottsdale, Arizona 85262 480-596-1131

NAOS & CONSTRUCTION ENVELOPE PLAN
IMPROVEMENT PLANS
SERENO CANYON PARCEL F1, PHASE 4
SCOTTSDALE - ARIZONA



Date 7/26/2023 Job No. 385-17 Sheet 11 of 11

1-ZN-2005#2 16-ZN-2011 51-DR-2017 16-PP-2017 3765-18-42

CITY OF SCOTTSDALE LANDSCAPE NOTES

1. Areas of salvaged desert surface soil without plant materials/groundcovers shall not exceed dimensions of more than 7 feet in any one direction, measured between plant canopies and/or coverage.
2. A minimum of 50 percentage (unless otherwise stipulated by the Development Review Board, and/or the Zoning Ordinance requirements) of the provided trees shall be mature trees, pursuant to the City of Scottsdale's Zoning Ordinance Article X, Section 10.301, as defined in the City of Scottsdale's Zoning Ordinance Article III, Section 3.100.
3. A single trunk tree's caliper size, that is to be equal to or less than 4-inches, shall be determined by utilizing the smallest diameter of the trunk 6-inches above finished grade adjacent to the trunk. A tree's caliper size, for single trunk trees that are to have a diameter greater than 4-inches, shall be determined by utilizing the smallest diameter of the trunk 12-inches above finished grade adjacent to the trunk. A multiple trunk tree's caliper size is measured at 6" above the location that the trunk splits originates, or 6" above finished grade if all trunks originate from the soil.
4. Thorny trees, shrubs and cacti shall be planted so that their mature size/canopy will be at least 4 feet away from any walkways or parking area curbing. Please refer to DSPM SEC. 2-1.1001.13.
5. Area within the sight distance triangles is to be clear of landscaping, signs, or other visibility obstructions with a height greater than 1.5 feet. Trees within the sight triangle shall have a single trunk and a canopy that begins at 8 feet in height upon installation. All heights are measured from nearest street line elevation.
6. Retention/detention basins shall be constructed solely from the approved civil plans. Any alteration of the approved design (additional fill, boulders, etc.) shall require additional final plans staff review and approval.
7. All rights-of-way adjacent to this property shall be landscaped and maintained by the property owner.
8. Prior to the establishment of water service, non-residential properties with an estimated annual water demand of ten (10) acre-feet or more shall submit a conservation plan in conformance with Sections 49-245 through 49-248 of the City Code to the Water Conservation Office.
9. Turf shall be limited to the maximum area specified in Sections 49-245 through 49-248 of the City Code and shall be shown on landscape plans submitted at the time of final plans.
10. No lighting is approved with the submittal.
11. The approval of these plans recognize the construction of a low voltage system and does not authorize any violation of the current City of Scottsdale adopted electrical code.
12. The landscape specification section(s) of these plans have not been reviewed and shall not be part of the City of Scottsdale's Approval.
13. All signs require separate permits and approvals.
14. New landscaping, including salvaged plant material, and landscaping indicated to remain, which is destroyed, damaged, or expires during construction shall be replaced with like size, kind, and quantity prior to the issuance of the Certificate of Occupancy / Letter of Acceptance to the satisfaction of the Inspection Services Staff.
15. All revegetated NAOS shall be watered for 3 years. At the end of 3 years, the irrigation systems to the revegetated NAOS shall be permanently disconnected.
16. No irrigation shall be provided to undisturbed Natural Area Open Space (NAOS) areas.
17. Provide the Natural Area Open Space (NAOS) and Limits of Construction (LOC) Protection Program on the Plans: NATURAL AREA OPEN SPACE (NAOS) AND LIMITS OF CONSTRUCTION (LOC) PROTECTION PROGRAM.
 - a. No building, grading, or construction activity shall encroach into areas designated as NAOS, or outside the designated limits of construction envelope.
 - b. All NAOS and area outside of the LOC shall be protected from damage prior to, and during construction by the following methods:
 - i. A registered land surveyor shall stake all NAOS and LOC disturbance based on this exhibit.
 - ii. ± Three (3) foot tall steel rebar, or City of Scottsdale Inspection Services approved similar, shall be set along the NAOS and LOC, and connected with gold roping by the contractor prior to any clearing or grading.
 - iii. All cacti subject to the City of Scottsdale's native plant ordinance directly adjacent, within two feet, of the NAOS and LOC line shall be fenced with wire fencing to prevent damage.
 - iv. The contractor shall maintain the staking, roping, and fencing intact during the duration of the construction activity.
 - v. The contractor shall remove staking, roping, and fencing after receipt of the Letter of Acceptance/Certificate of Occupancy from the City of Scottsdale for all construction work.

GENERAL NOTES:

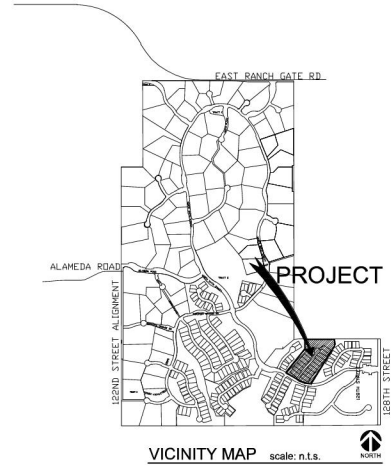
1. THE LANDSCAPE AND GENERAL CONTRACTORS SHALL REVIEW THIS PROJECT WITH THE LANDSCAPE ARCHITECT PRIOR TO STARTING WORK. THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED IN WRITING OF ANY DISCREPANCIES REGARDING THESE PLANS PRIOR TO PROCEEDING.
2. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL DIMENSIONS AND CONDITIONS AT THE JOB SITE AND TO CROSS-CHECK DETAILS AND DIMENSIONS SHOWN ON THE DRAWINGS WITH RELATED REQUIREMENTS ON THE ARCHITECTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND CIVIL DRAWINGS. CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS PRIOR TO STARTING WORK. LOCATIONS AND DEPTHS OF ALL UNDERGROUND UTILITIES THAT MAY BE AFFECTED BY CONSTRUCTION AND SHALL BE RESPONSIBLE FOR DAMAGES TO SUCH UTILITIES CAUSED AS A RESULT OF CONSTRUCTION.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING ALL NECESSARY PERMITS AND SHALL NOTIFY ALL UTILITY COMPANIES WITH UTILITIES ON THE SITE PRIOR TO THE CONSTRUCTION OF THE PROJECT. CONTRACTOR SHALL ADHERE TO ALL APPLICABLE LOCAL, STATE AND FEDERAL LAWS OR REGULATIONS PERTAINING TO THE PROJECT.
4. ALL WORKMANSHIP AND MATERIALS SHALL CONFORM TO LOCAL CODES.
5. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONARY MEASURES TO PROTECT THE PUBLIC AND ADJACENT PROPERTIES FROM DAMAGE THROUGHOUT CONSTRUCTION.
6. ALL EXISTING VEGETATION, WEEDS, DEBRIS, ETC. SHALL BE REMOVED FROM THE PROJECT LIMITS OF CONSTRUCTION AND PROPERLY DISPOSED OFFSITE AT THE CONTRACTOR'S EXPENSE.
7. UNLESS OTHERWISE SPECIFIED ON THE PLANS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FOLLOWING: DAMAGES TO UTILITIES CAUSED AS A RESULT OF CONSTRUCTION; DAMAGES TO EXISTING WALKS, WALLS, DRIVES, CURBS, ETC.; INSPECTION OF THE SITE IN ORDER TO BE FULLY AWARE OF EXISTING CONDITIONS PRIOR TO SUBMITTING THE BID; SITE SECURITY UNTIL PROJECT ACCEPTANCE.
8. IN NO CASE SHALL WORKING DIMENSIONS BE SCALED FROM PLANS, SECTIONS OR DETAILS ON THE DRAWINGS.
9. WHERE NO SPECIFIC DETAIL IS SHOWN, THE CONSTRUCTION SHALL BE IDENTICAL OR SIMILAR TO THAT INDICATED FOR LIKE CASES OF CONSTRUCTION ON THIS PROJECT.
10. CONTRACTOR SHALL REFERENCE CIVIL ENGINEERING DRAWINGS FOR GRADING AND DRAINAGE FLOWS AND SHALL BE RESPONSIBLE FOR MAINTAINING THESE FLOWS FREE OF OBSTRUCTIONS.
11. QUANTITIES ARE SHOWN FOR REFERENCE ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL MATERIALS SHOWN ON PLANS.
12. SLEEVES, VARIATIONS IN THE SLAB ELEVATIONS, DEPRESSED AREAS AND ALL OTHER ARCHITECTURAL, MECHANICAL, ELECTRICAL AND PLUMBING REQUIREMENTS MUST BE COORDINATED BEFORE THE CONTRACTOR PROCEEDS WITH CONSTRUCTION.
13. DETAILS NOTED AS TYPICAL SHALL APPLY IN ALL CASES UNLESS SPECIFICALLY SHOWN OR NOTED OTHERWISE.
14. NATIVE SEED MIX TO BE APPLIED TO NATIVE TREATMENT.
15. ALL DISTURBED AREAS AS SHOWN TO BE TREATED WITH NATIVE, ENHANCED NATIVE, OR SPECIALTY TREATMENTS.
16. ALL SALVAGED PLANT MATERIALS TO BE UTILIZED WITHIN DEFINED LANDSCAPE TREATMENTS.
17. RIP-RAP SLOPES, PATH, WALKS, AND DRIVES PER CIVIL PLANS.

SERENO CANYON
PARCEL F1
LANDSCAPE IMPROVEMENT PLANS

OWNER/ DEVELOPER
Toll Brothers
8767 E. Via de Ventura #390
Scottsdale, Arizona 85258
tel: 602 596-0100
contact: Chad Fischer.

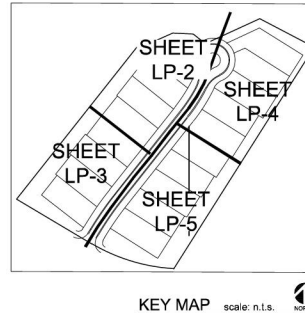
ARCHITECT & LANDSCAPE ARCHITECT
Swaback Partners
7550 E. McDonald Drive
Scottsdale, AZ 85250
tel: 480-367-2100
Contact: Jeffrey M. Denzak ASLA, APA

ENGINEER
Argus Consulting
10115 E. Bell Road, Suite 107 - #104
Scottsdale, Arizona 85260
Tel: 480.596.1131
Contact: Jorge Garre, PE



GENERAL LANDSCAPE NOTES

1. Install 'Desert Pavement' D.G. rock mulch to a depth shown on plans in all planting bed areas unless otherwise noted on plans. Contractor to salvage, stockpile, haul and protect desert pavement material during construction for subsequent installation.
2. If 'Desert Pavement' stockpile runs short, supplement with ¾" minus decomposed granite to match existing size and color and to be approved by landscape architect/owner using field mock-ups provided by the contractor.
3. It shall be the responsibility of the contractor to verify quantities including trees, shrubs, groundcovers, desert pavement, mulch and other items shown on the plans. It shall be the contractor's responsibility to notify the landscape architect prior to construction of major discrepancies. In case of a discrepancy between the number of plants indicated on the plant list, the drawings shall be accepted as correct.
4. No plant material shall be placed within seven (7') feet of a fire hydrant, light pole, electrical, or communication box.
5. Landscape contractor to contact landscape architect or owner's representative before each application of pre-emergent for verification. All planting bed mulch areas shall receive pre-emergent herbicide as specified; the contractor shall provide the landscape architect with a letter certifying the chemical, date and rate of application for both weed killer and pre-emergent.
6. All plant material and specifications to conform to Arizona Nurseryman Association standards and sizes.
7. All right-of-way & city required plant material to be in compliance with the department of water resources low water use plant list.
8. The landscape architect and/or owner's representative is to approve any and all substitutions before installation. substitutions shall not be allowed unless authorized in writing by the landscape architect.
9. The landscape architect and/or owner's representative reserves the right to refuse any plant material deemed unacceptable. all plant material shall be inspected before installation. the contractor shall request inspection 24 hours in advance of planting. upon such inspections if the roadbed condition is unacceptable the contractor shall supply replacement plant at no cost.
10. Coordinate salvage and relocation of existing native trees and cacti with salvage plans.
11. The contractor shall maintain all existing utility cover, boxes, lids and manholes in an exposed condition.
12. The landscape architect reserves the right to refuse any plant material deemed unacceptable.
13. Locate plants away from sprinkler heads, light fixtures and other obstructions.
14. Water test all tree planting holes prior to planting. If tree hole does not drain within a 24 hour period, refer to hardpan detail.
15. See specifications and mag standard 430.5.6 for planting backfill mix.
16. All top soil mixtures for plants shall be free of grass and noxious weeds. see section 795 of the m.a.g. specifications.
17. Trees within sight visibility triangles shall have a clear trunk pruned to a height of 7 feet or greater upon installation. height shall be measured from edge of pavement.
18. Shrubs and groundcovers planted within the sight visibility triangle shall have a mature height of not more than 18 inches. height shall be measured from the edge of pavement, and total height shall include the height of mounding.
19. Maintain 3' clearance of cacti from all pedestrian routes unless otherwise directed by landscape architect.
20. Finish grade in all areas shall be smooth, even and 1/2" below top of curbs, paving and adjacent walks.
21. When boxed trees are installed, the bottom of the tree boxes shall not be removed upon planting, the soil line of the planted tree shall match the surrounding finish grade.
22. Groundcover & desert pavement shall extend under shrubs unless otherwise noted on the plans.
23. Lot driveway locations are unknown and will be determined by the builder. Proposed landscape material shown in landscape right-of-way at front of parcel lot, and in specific landscape tracts between/ around lots to be installed as the adjacent lots are developed.
24. Proposed tree locations are conceptual and may be field adjusted according to construction improvements.



ALL LANDSCAPE AREAS AND MATERIALS, INCLUDING THOSE LOCATED IN PUBLIC RIGHTS-OF-WAY, SHALL BE MAINTAINED IN A HEALTHY, NEAT, CLEAN AND WEED-FREE CONDITION. AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) A300 STANDARD PRACTICES FOR PRUNING, SUPPORT SYSTEMS, AND SAFETY SHALL BE USED FOR MAINTENANCE CRITERIA. THIS SHALL BE THE RESPONSIBILITY OF THE

LANDSCAPE PLAN APPROVAL		
Case #	Approved by	Date
CONSTRUCTION AND INSTALLATION SHALL BE IN ACCORDANCE WITH THIS PLAN AND ALL DEVIATIONS WILL REQUIRE REAPPROVAL. THE CITY WILL NOT ISSUE A C OF O UNTIL INSPECTION SERVICES STAFF APPROVES THE LANDSCAPE INSTALLATION.		

NOTES:

1. REFER TO CIVIL PLANS FOR SERENO CANYON NAOS PLAN FOR REFERENCE.
2. REFER TO CIVIL PLANS FOR CUTS AND FILLS PLAN.
3. REFER TO APPROVED NATIVE PLANT PERMIT #252339 FOR SALVAGED PLANT MATERIAL NUMBERS.

SHEET INDEX

cover sheet	CS-1
wall plan	A-101
wall details	A-102 & A-103
overall landscape plan	LP-1
landscape plan	LP-2 to LP-5
landscape details	LD-1
irrigation plan	IR-1 to IR-5
irrigation details	IR-6



SWABACK
Architects + Planners
7550 E McDonald Drive
Scottsdale, Arizona 85250
480.367.2100 | www.swaback.com

CERTIFICATE OF APPROVAL
48018
JEFFREY M. DENZAK
ASLA, APA
Jorge Garre, PE
PE

PROJECT PHASE
☐ PRELIMINARY PLAT
☒ CONSTRUCTION DOCUMENTS
☐ ISSUE FOR BID SET
☐ ISSUE FOR CONSTRUCTION

REVISIONS

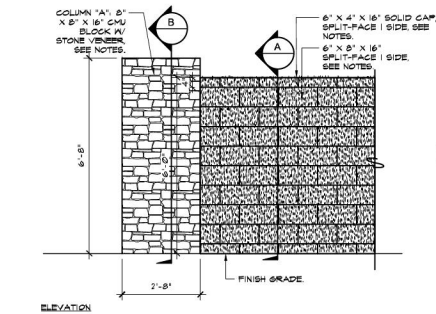
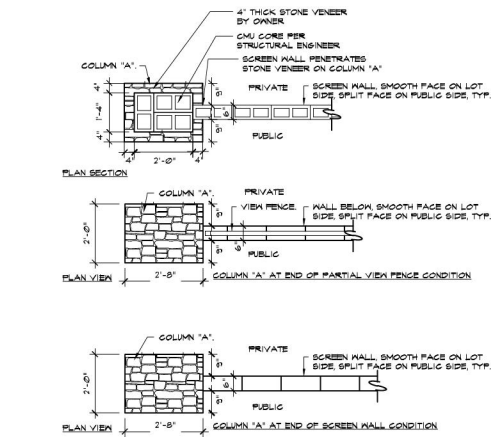
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PRELIMINARY- NOT FOR CONSTRUCTION

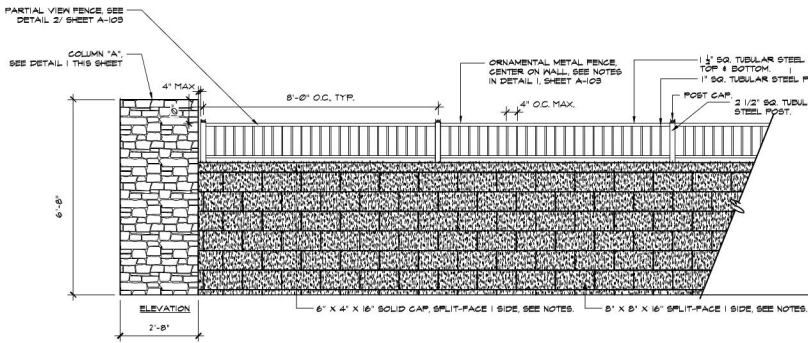
SERENO CANYON
CITY OF SCOTTSDALE, MARICOPA COUNTY, ARIZONA
LANDSCAPE IMPROVEMENT PLANS - PARCEL F1
OVERALL LANDSCAPE PLAN

DRAWN SM
CHECKED CM
DATE 03/31/2023
SCALE AS SHOWN
JOB NO. 1902
SHEET CS-1
1 OF 16 SHEETS

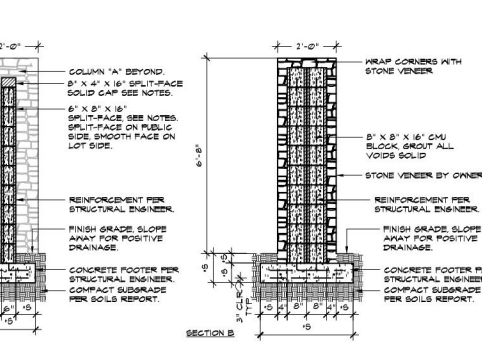
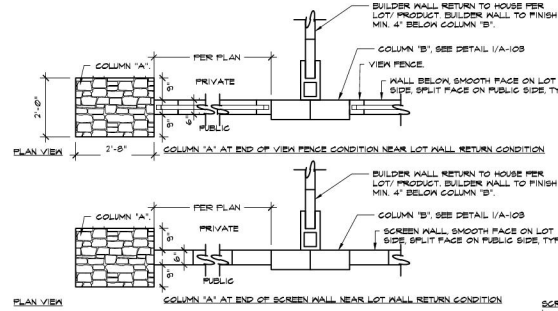
10-MD-2020
3765-18-19
1-ZN-2005 #2
16-ZN-2011
51-DR-2017
16-PP-2017
QS #45-58



1 SCREEN WALL W/ COLUMN "A"
1/2" = 1'-0"

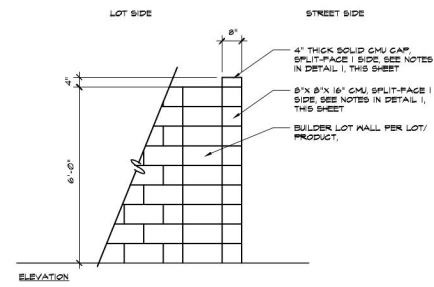
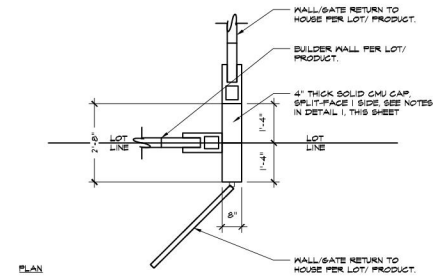


03 PARTIAL VIEW FENCE W/ COLUMN "A"
1/2" = 1'-0"

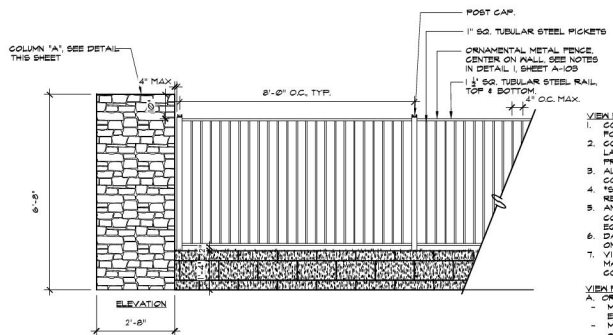


SCREEN WALL W/ COLUMN "A" NOTES:
1. CONTRACTOR TO PROVIDE SAMPLE WALL YARD FOR LANDSCAPE ARCHITECTS REVIEW & APPROVAL PRIOR TO FABRICATION/INSTALLATION.
2. CONTRACTOR TO PROVIDE SHOP DRAWINGS TO LANDSCAPE ARCHITECT FOR REVIEW & APPROVAL PRIOR TO FABRICATION/INSTALLATION.
3. ALL FOOTINGS & STRUCTURES TO BE CONSTRUCTED COMPLETELY OUT OF ALL BASEMENTS.
4. "S" DIMENSIONS OF FOOTERS & STEEL REINFORCEMENT PER STRUCTURAL ENGINEER.
5. ANTI-GRAFFITI COATINGS: TREAT WITH ANTI-GRAFFITI COATING (MATTE FINISH ECO-NAVES OR APPROVED EQUAL) APPLY PER MANUF. SPECS.
6. DAMPROOF: CONTRACTOR TO SUBMIT CUT SHEETS ON RECOMMENDED SYSTEM.

SCREEN WALL W/ COLUMN "A" COLORS & MATERIALS:
A. 6" X 8" X 16" SPLIT-FACE 1 SIDE CMU - COLOR: SHERMAN-HILLIAMS #117, URBAN JUNGLE
B. 6" X 4" X 16" SOLID CAP SPLIT-FACE 1 SIDE - COLOR: SHERMAN-HILLIAMS #117, URBAN JUNGLE
C. SPLIT-FACE SURFACE ON PUBLIC SIDE ONLY. SMOOTH SURFACE ON LOT SIDE AND INSIDES OF VIEW FENCE COLUMNS. TYP.
D. COLUMN VENEER BY OWNER
E. RANDED MORTAR JOINTS, RUNNING BOND AT WALLS



2 BUILDER WALL RETURN
1/2" = 1'-0"



04 VIEW FENCE W/COLUMN "A"
1/2" = 1'-0"

VIEW FENCE NOTES:
1. CONTRACTOR TO PROVIDE SAMPLE WALL YARD FOR LANDSCAPE ARCHITECTS REVIEW & APPROVAL PRIOR TO FABRICATION/INSTALLATION.
2. CONTRACTOR TO PROVIDE SHOP DRAWINGS TO LANDSCAPE ARCHITECT FOR REVIEW & APPROVAL PRIOR TO FABRICATION/INSTALLATION.
3. ALL FOOTINGS & STRUCTURES TO BE CONSTRUCTED COMPLETELY OUT OF ALL BASEMENTS.
4. "S" DIMENSIONS OF FOOTERS & STEEL REINFORCEMENT PER STRUCTURAL ENGINEER.
5. ANTI-GRAFFITI COATINGS: TREAT WITH ANTI-GRAFFITI COATING (MATTE FINISH ECO-NAVES OR APPROVED EQUAL) APPLY PER MANUF. SPECS.
6. DAMPROOF: CONTRACTOR TO SUBMIT CUT SHEETS ON RECOMMENDED SYSTEM.
7. VIEW FENCE SHALL MEET MIN. REQUIREMENTS PER MARICOPA COUNTY HEALTH DEPARTMENT POOL CODE.

VIEW FENCE COLORS & MATERIALS:
A. ORNAMENTAL METAL FENCE - MANUFACTURER: VESCHART METALS OR APPROVED EQUAL
B. MODEL: VERBAI - V2 FLAT TOP/ FLAT BOTTOM, 2 RAIL, 2 1/2" POSTS W/ PRESSED DOME CAP, POWDERCOAT FINISH COLOR: BLACK
C. CONTACT: 866-888-8811



PROJECT PHASE		
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<input type="radio"/>	ISSUE FOR BID SET	
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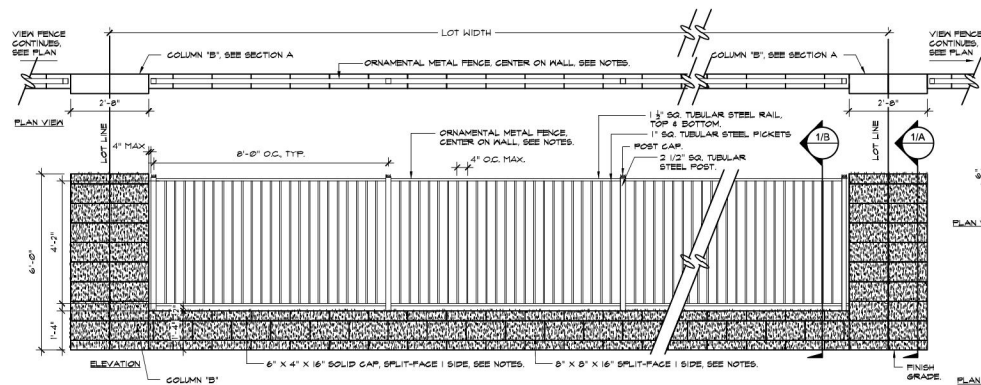
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PRELIMINARY - NOT FOR CONSTRUCTION

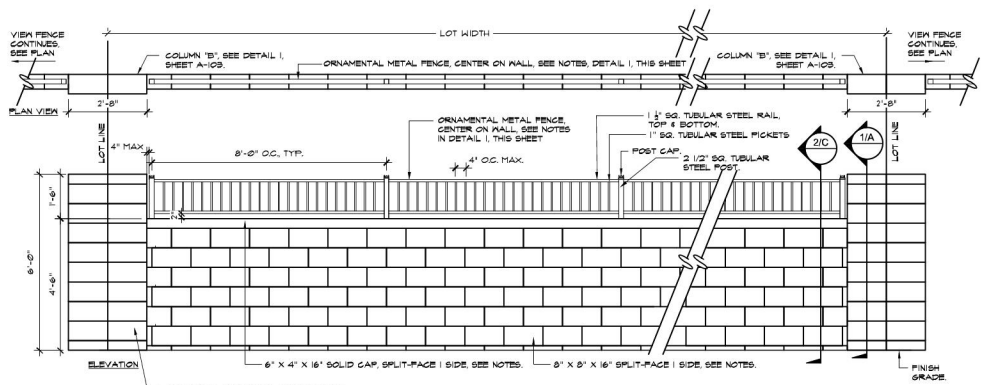
SERENO CANYON
CITY OF SCOTTSDALE, MARICOPA COUNTY, ARIZONA
LANDSCAPE IMPROVEMENT PLANS - PARCEL F1
WALL DETAILS

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CHECKED	CM
DATE	03/31/2023
SCALE	AS SHOWN
JOB NO.	1902
SHEET	A-102
3 OF 16 SHEETS	

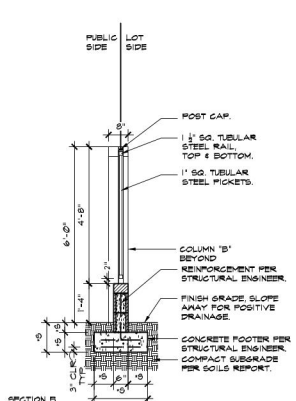
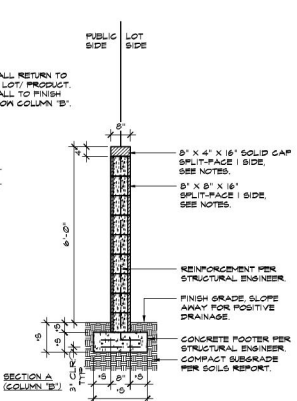
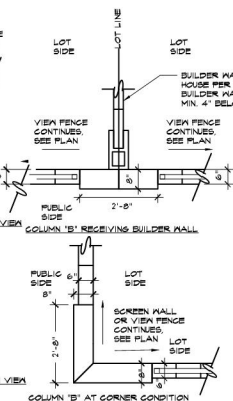




01 VIEW FENCE W/ COLUMN 'B'



02 PARTIAL VIEW FENCE W/ COLUMN 'B'



- VIEW PARTIAL VIEW FENCE ON GUY MALL IN COLUMN 'B' COLORS & MATERIALS:
- A. 6' X 8' X 16' SPLIT-FACE 1 SIDE FOR WALL
 - COLOR: SHERWIN-WILLIAMS #1171: URBAN JANGLE
 - B. 6' X 4' X 16' SOLID CAP SPLIT-FACE 1 SIDE FOR WALL
 - COLOR: SHERWIN-WILLIAMS #1171: URBAN JANGLE
 - C. 6' X 8' X 16' SPLIT-FACE 1 SIDE FOR COLUMN 'B'
 - COLOR: SHERWIN-WILLIAMS #1171: URBAN JANGLE
 - D. 6' X 4' X 16' SOLID CAP SPLIT-FACE 1 SIDE FOR COLUMN 'B'
 - COLOR: SHERWIN-WILLIAMS #1171: URBAN JANGLE
 - E. SPLIT-FACE SURFACE ON PUBLIC SIDE ONLY
 - SMOOTH SURFACE ON LOT SIDE AND INSIDES OF VIEW FENCE
 - GROUND TYP.
 - F. RAKED MORTAR JOINTS, RUNNING BOND AT WALLS
- VIEW FENCE NOTES:
- CONTRACTOR TO PROVIDE SAMPLE WALL YARD FOR LANDSCAPE ARCHITECTS REVIEW & APPROVAL
 - CONTRACTOR TO PROVIDE SHOP DRAWINGS TO LANDSCAPE ARCHITECT FOR REVIEW & APPROVAL PRIOR TO FABRICATION/INSTALLATION
 - ALL FOOTINGS & STRUCTURES TO BE CONSTRUCTED COMPLETELY OUT OF ALL BASEMENTS
 - 16" DIMENSIONS OF FOOTINGS & STEEL REINFORCEMENT PER STRUCTURAL ENGINEER
 - ANTI-SHAPFETI COATINGS TREAT WITH ANTI-SHAPFETI COATING (MATT FINISH ECO-WARES OR APPROVED EQUAL APPLY PER MANUF. SPECS)
 - PAINTWORK: CONTRACTOR TO SUBMIT OUT SHEETS ON RECOMMENDED SYSTEM
 - VIEW FENCE SHALL MEET MIN. REQUIREMENTS PER MARICOPA COUNTY HEALTH DEPARTMENT POOL CODE
- VIEW FENCE COLORS & MATERIALS:
- A. ORNAMENTAL METAL FENCE
 - MANUFACTURER: MERCHANT METALS OR APPROVED EQUAL
 - MODEL: VERBA - V2 PLAT TOP/PLAT BOTTOM, 2 RAIL, 2
 - 1" POSTS IN PRESSED DOME CAP
 - POWDERCOAT FINISH COLOR: BLACK
 - CONTACT: 866-888-9611

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Architects + Planners
7350 E McDowell Drive
Scottsdale, Arizona 85250
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PROJECT PHASE

- ☐ PRELIMINARY PLAT
- ☒ CONSTRUCTION DOCUMENTS
- ☐ ISSUE FOR BID SET
- ☐ ISSUE FOR CONSTRUCTION

REVISIONS

NO.	DESCRIPTION	DATE
1	1ST SUBMITTAL	03/31/22

PRELIMINARY - NOT FOR CONSTRUCTION

SERENO CANYON
CITY OF SCOTTSDALE, MARICOPA COUNTY, ARIZONA
LANDSCAPE IMPROVEMENT PLANS - PARCEL F1
WALL DETAILS

DRAWN SM
CHECKED CM
DATE 03/31/2023
SCALE AS SHOWN
JOB NO. 1902
SHEET A-103
4 OF 16 SHEETS

CALL TWO WORKING DAYS BEFORE TO: 602-263-1100
1-800-STAKE-IT
(OUTSIDE MARICOPA COUNTY)

QS #45-58

16-PP-2017

51-DR-2017

16-ZN-2011

1-ZN-2005 #2

3765-18-19

10-MD-2020

10-MD-2020



2 LANDSCAPE PLAN
SCALE: 1"=20'-0"



Inert materials	
	surface boulder 2'x4' or 1 ton minimum size - 13 nos
	RIP RAP - see civil plans

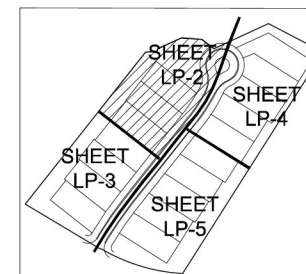
SYMBOL	DESCRIPTION	
	'DESERT' PAVEMENT GROUND COVER, SEE LANDSCAPE NOTE 1, SHEET CS-1	98,900 sf
	REVEGETATION HYDROSEED, REFER LANDSCAPE NOTES, SHEET LP-1	104,000 sf

NOTES:

- Contractor to coordinate landscape installation in phases so that plant material is not damaged during infrastructure improvements and unit construction.
- Refer to Sheet LP-1 for materials quantities and sizes.
- Drainage Easement & 404 wash refer to civil plans.

PLANT SCHEDULE PLANTING PLAN

TREES	BOTANICAL / COMMON NAME	CONT.
	ACACIA GREGGII / CATCLAW ACACIA	15 GAL.
	CELTIS PALLIDA / SPINY HACKBERRY	15 GAL.
	CERCIDIUM FLORIDUM / BLUE PALO VERDE	36" BOX OR SALVAGE
	CERCIDIUM MICROPHYLLUM / FOOTHILL PALO VERDE	24" OR SALVAGED
	CERCIDIUM X 'DESERT MUSEUM' / THORNLESS PALOVERDE	24" BOX
	CHILOPSIS LINEARIS / DESERT WILLOW	15 GAL.
	OLNEYA TESOTA / DESERT IRONWOOD	36" BOX OR SALVAGE
	PARKINSONIA FLORIDA / PALO VERDE	24" BOX
	PROSOPIS VELUTINA / VELVET MESQUITE	24" BOX
SHRUBS	BOTANICAL / COMMON NAME	CONT.
	ABRONIA VILLOSA / SAND VERBENA	1 GAL.
	AMBROSIA DELTOIDEA / TRIANGLELEAF BURSAGE	1 GAL.
	ASCLEPIAS SUBULATA / RUSH MILKWEED	1 GAL.
	ATRIPLEX CANESCENS / FOURWING SALTBUSH	5 GAL.
	ENCELIA FARINOSA / BRITTLE BUSH	1 GAL.
	ERICAMERIA LARICIFOLIA / TURPENTINE BUSH	1 GAL.
	JUSTICIA CALIFORNICA / CHUPAROSA	5 GAL.
	LARREA TRIDENTATA / CREOSOTE BUSH	5 GAL.
	SIMMONDSIA CHINENSIS / JOJOBA	5 GAL.
CACTUS	BOTANICAL / COMMON NAME	CONT.
	CARNEGIEA GIGANTEA / SAGUARO	10 HT. OR SALVAGE
	CYLINDROPUNTIA BIGELOWII / TEDDYBEAR CHOLLA	5 GAL.
	CYLINDROPUNTIA FULGIDA / JUMPING CHOLLA	5 GAL.
	ECHINOCEREUS ENGELMANNII / ENGELMANN'S HEDGEHOG CACTUS	5 GAL.
	FEROCACTUS WISLIZENII / FISH HOOK BARREL CACTUS	5 GAL.
	OPUNTIA ENGELMANNII / ENGELMANN'S PRICKLY PEAR	5 GAL.
	OPUNTIA SANTA-RITA 'TUBAC' TM / SANTA RITA PRICKLYPEAR	5 GAL.
ACCENTS/ SUCCULENTS	BOTANICAL / COMMON NAME	CONT.
	AGAVE MURPHEYI / MURPHEY'S CENTURY PLANT	5 GAL.
	AGAVE PALMERI / PALMER'S CENTURY PLANT	5 GAL.
	AGAVE PARRYI / PARRY'S AGAVE	5 GAL.
	DASYLIRON WHEELERI / DESERT SPOON	5 GAL.
	FOUQUIERIA SPLENDENS / OCOTILLO	LG. BARE ROOT
	YUCCA BACCATA / BANANA YUCCA	5 GAL.
ANNUALS/ PERENNIALS/ GRASSES	BOTANICAL / COMMON NAME	CONT.
	ARISTIDA PURPUREA / PURPLE THREEAWN	1 GAL.
	BAILEYA MULTIRADIATA / DESERT MARIGOLD	1 GAL.
	GLANDULARIA GOODINGII / SOUTHWESTERN MOCK VERVAIN	1 GAL.
	PENSTEMON PARRYI / PARRY'S PENSTEMON	1 GAL.
	SPHAERALCEA AMBIGUA / DESERT GLOBEMALLOW	1 GAL.



KEY MAP scale: n.l.s.



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PROJECT PHASE

☐ PRELIMINARY PLAT

☒ CONSTRUCTION DOCUMENTS

☐ ISSUE FOR BID SET

☐ ISSUE FOR CONSTRUCTION

REVISIONS

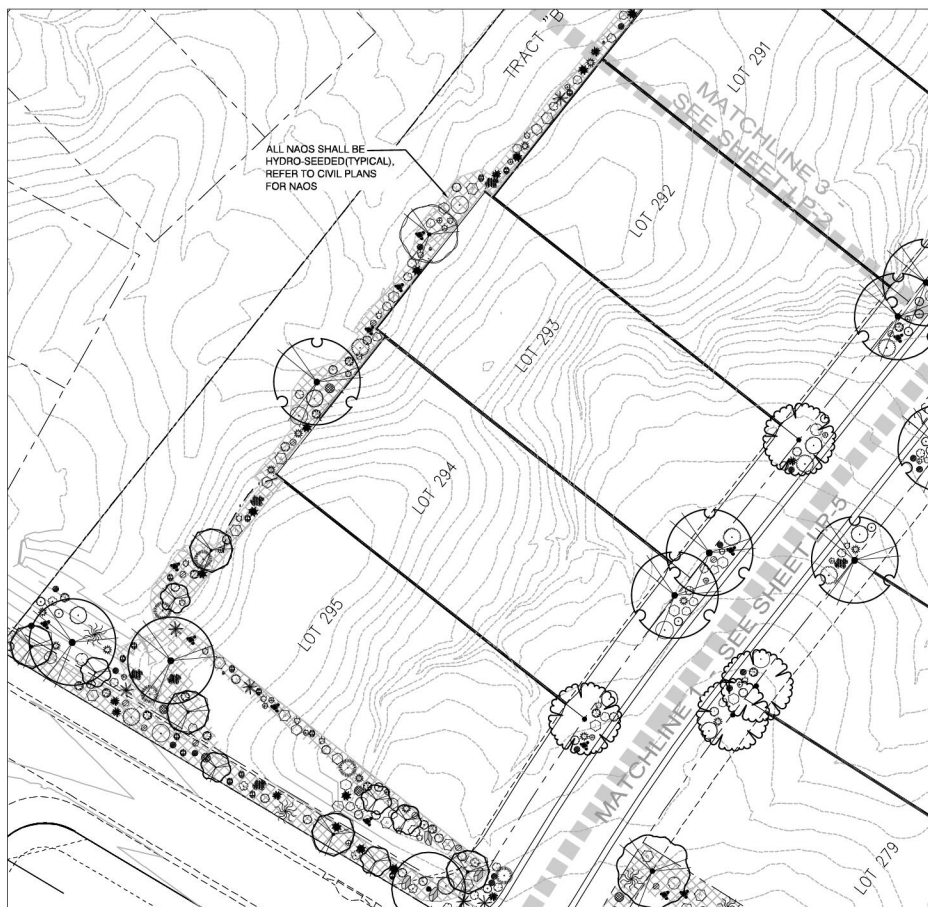
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1	1ST SUBMITTAL	03.31.22

PRELIMINARY - NOT FOR CONSTRUCTION

SERENO CANYON
CITY OF SCOTTSDALE, MARICOPA COUNTY, ARIZONA
LANDSCAPE IMPROVEMENT PLANS - PARCEL F1
LANDSCAPE PLAN

DRAWN SM
CHECKED CM
DATE 03/31/2023
SCALE AS SHOWN
JOB NO. 1902
SHEET LP-2
6 OF 16 SHEETS

3765-18-19 1-ZN-2005 #2 16-ZN-2011 51-DR-2017 16-PP-2017



3 LANDSCAPE PLAN
SCALE: 1"=20'-0"

Inert materials	
	surface boulder 2'x4' or 1 ton minimum size - 13 nos
	RIP RAP - see civil plans

SYMBOL	DESCRIPTION	
	'DESERT' PAVEMENT' GROUNDCOVER, SEE LANDSCAPE NOTE 1, SHEET CS-1	98,900 sf

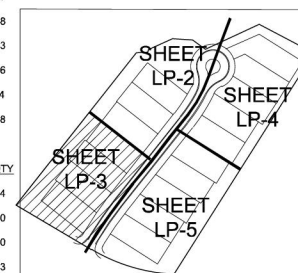
	REVEGETATION HYDROSEED, REFER LANDSCAPE NOTES, SHEET LP-1	104,000 sf
--	---	------------

NOTES:

- Contractor to coordinate landscape installation in phases so that plant material is not damaged during infrastructure improvements and unit construction.
- Refer to Sheet LP-1 for materials quantities and sizes.
- Drainage Easement & 404 wash refer to civil plans.

PLANT SCHEDULE PLANTING PLAN

TREES	BOTANICAL / COMMON NAME	CONT.	QTY
	ACACIA GREGGII / CATCLAW ACACIA	15 GAL.	13
	CELTIS PALLIDA / SPINY HACKBERRY	15 GAL.	10
	CERCIDIUM FLORIDUM / BLUE PALO VERDE	36" BOX OR SALVAGED	7
	CERCIDIUM MICROPHYLLUM / FOOTHILL PALO VERDE	24" OR SALVAGED	12
	CERCIDIUM X 'DESERT MUSEUM' / THORNLESS PALOVERDE	24" BOX	5
	CHILOPSIS LINEARIS / DESERT WILLOW	15 GAL.	5
	OLNEYA TESOTA / DESERT IRONWOOD	36" BOX OR SALVAGED	5
	PARKINSONIA FLORIDA / PALO VERDE	24" BOX	2
	PROSOPIS VELUTINA / VELVET MESQUITE	24" BOX	16
SHRUBS	BOTANICAL / COMMON NAME	CONT.	QTY
	ABRONIA VILLOSA / SAND VERBENA	1 GAL.	67
	AMBROSIA DELTOIDEA / TRIANGLELEAF BURSAGE	1 GAL.	40
	ASCLEPIAS SUBULATA / RUSH MILKWEED	1 GAL.	41
	ATRIPLEX CANESCENS / FOURWING SALT BUSH	5 GAL.	35
	ENCELIA FARINOSA / BRITTLE BUSH	1 GAL.	42
	ERICAMERIA LARICIFOLIA / TURPENTINE BUSH	1 GAL.	41
	JUSTICIA CALIFORNICA / CHUPAROSA	5 GAL.	34
	LARREA TRIDENTATA / CREOSOTE BUSH	5 GAL.	18
	SIMMONDSIA CHINENSIS / JOJOBA	5 GAL.	39
CACTUS	BOTANICAL / COMMON NAME	CONT.	QTY
	CARNEGIEA GIGANTEA / SAGUARO	10 HT. OR SALVAGED	48
	CYLINDROPUNTIA BIGELOVII / TEDDYBEAR CHOLLA	5 GAL.	53
	CYLINDROPUNTIA FULGIDA / JUMPING CHOLLA	5 GAL.	41
	ECHINOCEREUS ENGELMANNII / ENGELMANN'S HEDGEHOG CACTUS	5 GAL.	62
	FEROCACTUS WISLIZENII / FISH HOOK BARREL CACTUS	5 GAL.	44
	OPUNTIA ENGELMANII / ENGELMANN'S PRICKLY PEAR	5 GAL.	26
	OPUNTIA SANTA-RITA 'TUBAC' TM / SANTA RITA PRICKLYPEAR	5 GAL.	44
ACCENTS/ SUCCULENTS	BOTANICAL / COMMON NAME	CONT.	QTY
	AGAVE MURPHEYI / MURPHEY'S CENTURY PLANT	5 GAL.	47
	AGAVE PALMERI / PALMER'S CENTURY PLANT	5 GAL.	38
	AGAVE PARRYI / PARRY'S AGAVE	5 GAL.	53
	DASYLIRION WHEELERI / DESERT SPOON	5 GAL.	26
	FOUQUIERIA SPLENDENS / OCOTILLO	LG. BARE ROOT	14
	YUCCA BACCATA / BANANA YUCCA	5 GAL.	28
ANNUALS/ PERENNIALS/ GRASSES	BOTANICAL / COMMON NAME	CONT.	QTY
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KEY MAP scale: n.l.s.



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CERTIFICATE OF REGISTRATION
44518
JEFFREY S. SWABACK
Professional Engineer
State of Arizona

PROJECT PHASE

☐ PRELIMINARY PLAT

☒ CONSTRUCTION DOCUMENTS

☐ ISSUE FOR BID SET

☐ ISSUE FOR CONSTRUCTION

REVISIONS

NO.	DESCRIPTION	DATE
1	1ST SUBMITTAL	03.31.22

PRELIMINARY - NOT FOR CONSTRUCTION

SERENO CANYON
CITY OF SCOTTSDALE, MARICOPA COUNTY, ARIZONA
LANDSCAPE IMPROVEMENT PLANS - PARCEL F1
LANDSCAPE PLAN

DRAWN SM

CHECKED CM

DATE 03/31/2023

SCALE AS SHOWN

JOB NO. 1902

SHEET LP-3

7 OF 16 SHEETS

QS #45-58

16-PP-2017

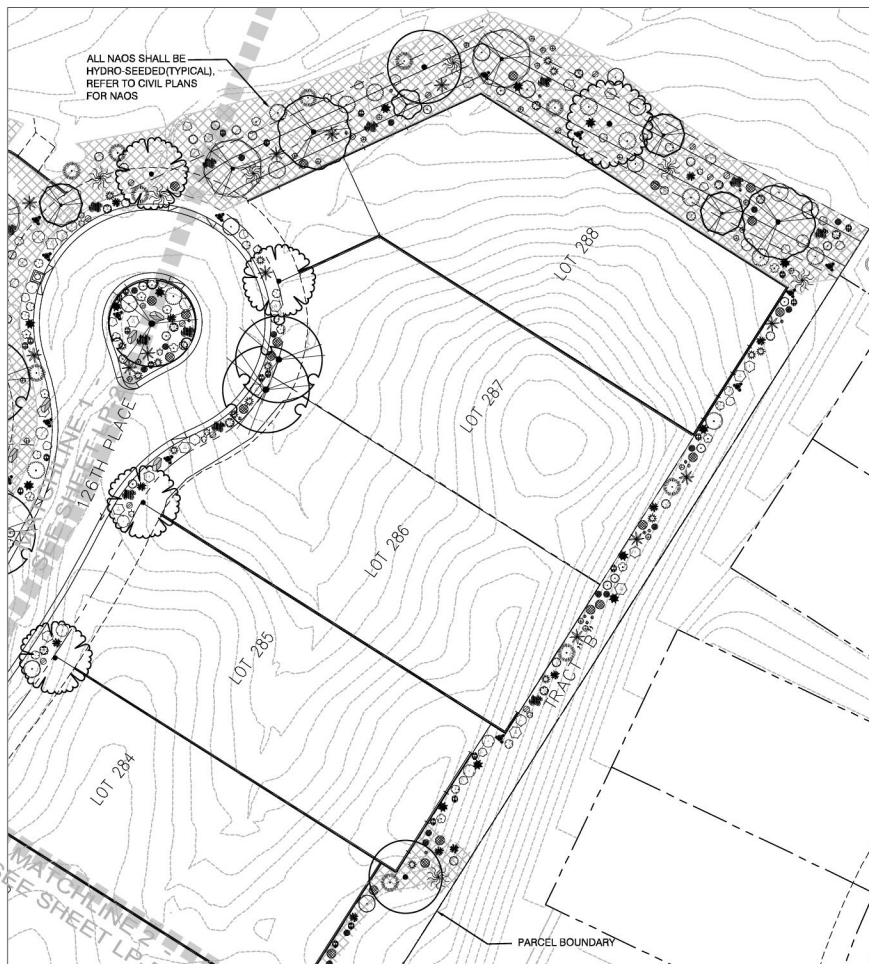
51-DR-2017

16-ZN-2011

1-ZN-2005 #2

3765-18-19

10-MD-2020



3 LANDSCAPE PLAN

SCALE: 1"=20'-0"



Inert materials	
	surface boulder 2'x4' or 1 ton minimum size - 13 nos
	RIP RAP - see civil plans

SYMBOL DESCRIPTION

	'DESERT 'PAVEMENT' GROUND COVER, SEE LANDSCAPE NOTE 1, SHEET CS-1	98,900 sf
--	---	-----------

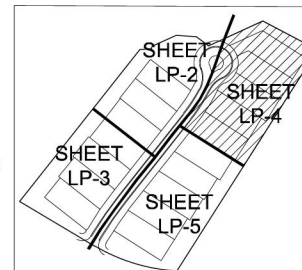
	REVEGETATION HYDROSEED, REFER LANDSCAPE NOTES, SHEET LP-1	104,000 sf
--	---	------------

NOTES:

- Contractor to coordinate landscape installation in phases so that plant material is not damaged during infrastructure improvements and unit construction.
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PLANT SCHEDULE PLANTING PLAN

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	OLNEYA TESOTA / DESERT IRONWOOD	36" BOX OR SALVAGED 5	
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	ENCELIA FARINOSA / BRITTLE BUSH	1 GAL.	42
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	CYLINDROPUNTIA BIGELOVII / TEDDYBEAR CHOLLA	5 GAL.	53
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	FOUQUIERIA SPLENDENS / OCOTILLO	LG. BARE ROOT	14
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KEY MAP scale: n.t.s.



PROJECT PHASE	
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<input type="radio"/>	ISSUE FOR BID SET
<input type="radio"/>	ISSUE FOR CONSTRUCTION

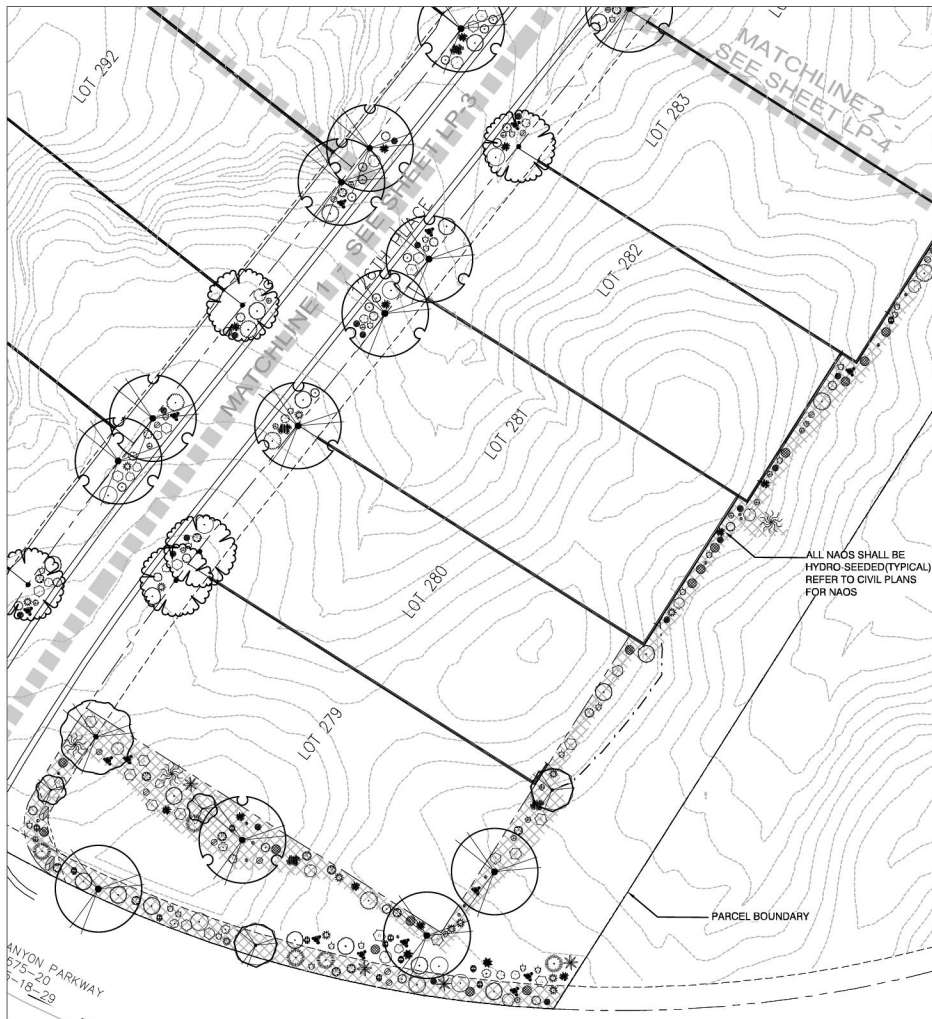
REVISIONS		
NO.	DESCRIPTION	DATE
1	1ST SUBMITTAL	03/31/22
2		
3		
4		
5		

PRELIMINARY - NOT FOR CONSTRUCTION

SERENO CANYON
CITY OF SCOTTSDALE, MARICOPA COUNTY, ARIZONA
LANDSCAPE IMPROVEMENT PLANS - PARCEL F1
LANDSCAPE PLAN

DRAWN	SM
CHECKED	CM
DATE	03/31/2023
SCALE	AS SHOWN
JOB NO.	1902
SHEET	LP-4
	8 OF 16 SHEETS

10-MD-2020 3765-18-19 1-ZN-2005 #2 16-ZN-2011 51-DR-2017 16-PP-2017 QS #45-58



4 LANDSCAPE PLAN
SCALE: 1"=20'-0"

Inert materials	
surface boulder 2'x4' or 1 ton minimum size - 13 nos	RIP RAP - see civil plans

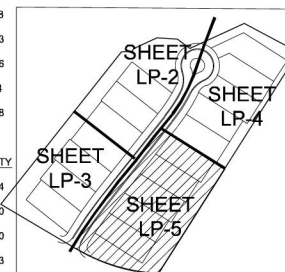
SYMBOL	DESCRIPTION	QUANTITY
	'DESERT 'PAVEMENT' GROUNDCOVER, SEE LANDSCAPE NOTE 1, SHEET CS-1	98,900 sf
	REVEGETATION HYDROSEED, REFER LANDSCAPE NOTES, SHEET LP-1	104,000 sf

NOTES:

1. Contractor to coordinate landscape installation in phases so that plant material is not damaged during infrastructure improvements and unit construction.
2. Refer to Sheet LP-1 for materials quantities and sizes.
3. Drainage Easement & 404 wash refer to civil plans.

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	SPHAERALCEA AMBIGUA / DESERT GLOBEMALLOW	1 GAL.	50



KEY MAP scale: n.l.s.



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PROJECT PHASE

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☐ ISSUE FOR BID SET

☐ ISSUE FOR CONSTRUCTION

REVISIONS		
NO.	DESCRIPTION	DATE
1	1ST SUBMITTAL	03.31.22

PRELIMINARY - NOT FOR CONSTRUCTION

SERENO CANYON

CITY OF SCOTTSDALE, MARICOPA COUNTY, ARIZONA

LANDSCAPE IMPROVEMENT PLANS - PARCEL F1

LANDSCAPE PLAN

DRAWN: SM

CHECKED: CM

DATE: 03/31/2023

SCALE: AS SHOWN

JOB NO: 1902

SHEET

SHEET

LP-5

9 OF 16 SHEETS

10-MD-2020

3765-18-19

1-ZN-2005 #2

16-ZN-2011

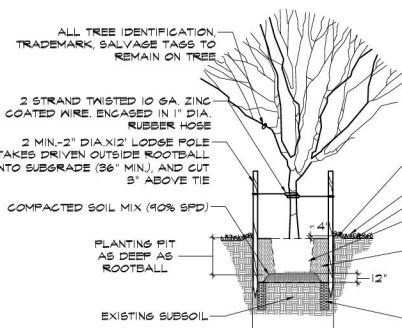
51-DR-2017

16-PP-2017

QS #45-58

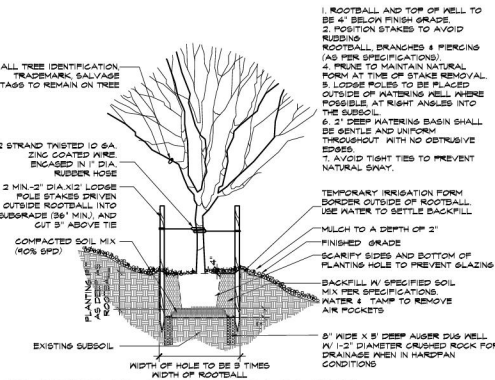
NOTES:

1. ROOTBALL AND TOP OF WELL TO BE 4" BELOW FINISH GRADE.
2. POSITION STAKES TO AVOID RUBBING.
3. ROOTBALL BRANCHES & FIERINGS (AS PER SPECIFICATIONS).
4. PRUNE TO MAINTAIN NATURAL FORM AT TIME OF STAKE REMOVAL.
5. LODGE POLES TO BE PLACED OUTSIDE OF WATERING WELL.
6. 2" DEEP WATERING BASIN SHALL BE GENTLE AND UNIFORM THROUGHOUT WITH NO OBTRUSIVE EDGES. ALL MULTI-TRUNKED TREES TO HAVE 2" DEEP WATERING BASIN SHALL BE GENTLE AND UNIFORM THROUGHOUT WITH NO OBTRUSIVE EDGES.
7. AVOID TIGHT TIES TO PREVENT NATURAL SHAW-LEADING STAKES.



1 TREE PLANTING

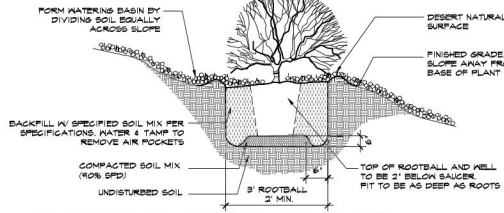
2 TREE STAKING



5 TREE PLANTING ON SLOPE

NOTES:

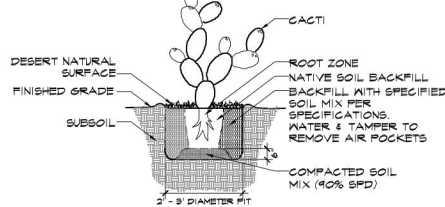
1. ALL IDENTIFICATION, TRADEMARK, SALVAGE TAGS TO REMAIN ON SHRUB.
2. SCARIFY SIDES AND BOTTOM OF PLANTING HOLE TO PREVENT GLAZING.
3. 2" DEEP WATERING BASIN SHALL BE GENTLE AND UNIFORM THROUGHOUT WITH NO OBTRUSIVE EDGES.



6 SHRUB PLANTING ON SLOPE

NOTES:

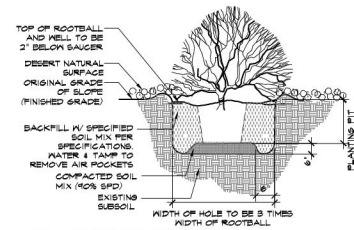
1. PLANT PIT TO BE 6" DEEPER THAN FREE EXTENSION OF ROOTS.
2. ROOT PRUNE ALL DAMAGED ROOTS.
3. INSPECTION & APPROVAL OF ALL CACTI REQUIRED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
4. USE DRY SITE SOIL IN PIT - NO MULCH.
5. WATER FREQUENTLY DURING THE SUMMER.
6. AT SITE, DUST ENTIRE ROOT STRUCTURE WITH NETTABLE DUSTING SULPHUR (1.5% MINIMUM).
7. RETAIN ORIGINAL ORIENTATION TO SUN WHEN PLANTING.
8. DETAIL FOR BARKER, PRECKLY PEAR AND CACTUS INSTALLATION.



9 CACTUS PLANTING

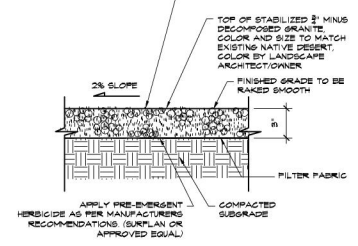
NOTES:

1. ALL IDENTIFICATION, TRADEMARK, SALVAGE TAGS TO REMAIN ON SHRUB.
2. SCARIFY SIDES AND BOTTOM OF PLANTING HOLE TO PREVENT GLAZING.
3. 2" DEEP WATERING BASIN SHALL BE GENTLE AND UNIFORM THROUGHOUT WITH NO OBTRUSIVE EDGES.



3 SHRUB PLANTING

- NOTE: AFTER RAKING APPLY FINAL PRE-EMERGENT PER MANUFACTURER'S RECOMMENDATIONS.



4 DECOMPOSED GRANITE

NOTES:

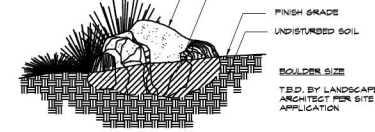
- BOULDERS TO BE STOCK-PILED WITH NON-SCARIFIED FACE EXPOSED TO DETERMINE QUALITY OF BOULDERS PRIOR TO MOVING TO FINAL LOCATIONS.

- BOULDERS TO BE USED AS ACCENTS IN THE LANDSCAPE TO BE SELECTED BY DESIGNER'S PRIOR TO REMOVING THEM FROM THE STOCK PILE.

- LARGE DIAMETER BOULDERS (3' OR LARGER) TO BE PLACED UTILIZING CHAINS, STRAPS, OR CABLES TO MINIMIZE SCARRING.

- NATIVE ROCK ARRANGEMENTS TO BE APPROVED BY LANDSCAPE DESIGNER PRIOR TO FINAL GRADING.

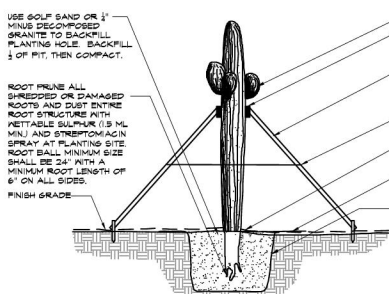
- BOULDER SURFACES SHOULD BE PROTECTED. SCARRED BOULDERS MAY BE REJECTED AT OWNER'S DISCRETION.



7 BOULDER PLACEMENT

NOTES:

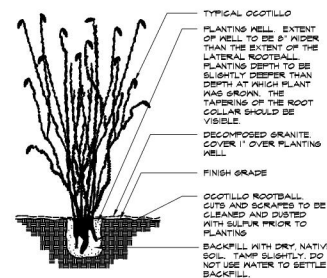
1. OPTIMUM TRANSPLANTING SEASON IS OCTOBER THRU NOVEMBER.
2. ORIENT ALL SAGUAROS IN SAME DIRECTION AS ORIGINALLY GROWN.
3. PLANTING PIT NOT TO EXCEED 12" WIDER THAN THE DIAMETER OF THE MAIN STEM.
4. TRANSPLANT TO ORIGINAL DEPTH OF BURY. ORIGINAL ROOT COLLAR SHOULD BE VISIBLE.
5. DO NOT WATER FOR 3 WEEKS AFTER PLANTING.



8 SAGUARO PLANTING

NOTES:

- NOTE: DO NOT WATER FOR 3 WEEKS AFTER PLANTING.



10 OCOTILLO PLANTING



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Scottsdale, Arizona 85255
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PROJECT PHASE

- ☐ PRELIMINARY PLAT
- ☒ CONSTRUCTION DOCUMENTS
- ☐ ISSUE FOR BID SET
- ☐ ISSUE FOR CONSTRUCTION

REVISIONS

NO.	DESCRIPTION	DATE
1	1ST SUBMITTAL	03.31.22
2		
3		

PRELIMINARY - NOT FOR CONSTRUCTION

SERENO CANYON
CITY OF SCOTTSDALE, MARICOPA COUNTY, ARIZONA
LANDSCAPE IMPROVEMENT PLANS - PARCEL F1
LANDSCAPE DETAILS

DRAWN: SM

CHECKED: CM

DATE: 03/31/2023

SCALE: AS SHOWN

JOB NO.: 1902

SHEET: LD-1

10 OF 16 SHEETS



CALL TWO WORKING DAYS BEFORE TO:
602-263-1100
1-800-STAKE-IT
(OUTSIDE MARICOPA COUNTY)

QS #45-58

16-PP-2017

51-DR-2017

16-ZN-2011

1-ZN-2005 #2

3765-18-19

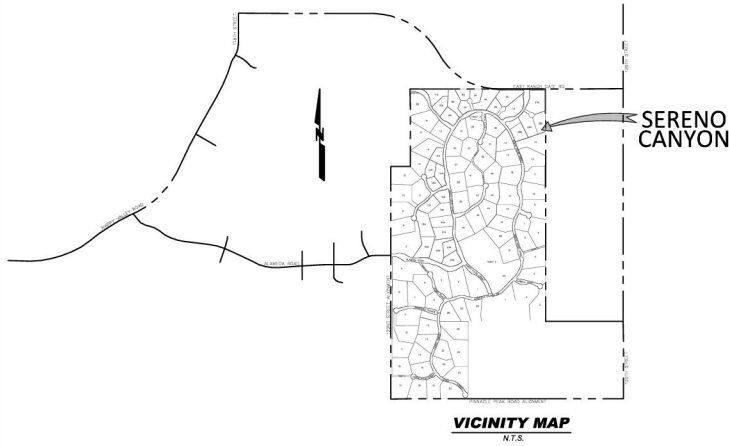
10-MD-2020

DEVELOPER
TOLL BROTHERS ARIZONA CONSTRUCTION COMPANY
8767 E VIA DE VENTURA, SUITE 390
SCOTTSDALE, ARIZONA 85258
(480) 951-0782

ENGINEER
ARGUS CONSULTING, P.C.
10115 E. BELL ROAD, SUITE 107 - #104
SCOTTSDALE, ARIZONA 85260
(480) 596-1131

SERENO CANYON NAOS PLAN

A PORTION OF SECTION 11, TOWNSHIP 4 NORTH, RANGE 5 EAST,
OF THE GILA AND SALT RIVER BASIN AND MERIDIAN, MARICOPA COUNTY, ARIZONA



PHASE 1 - NAOS DATA TABLE

LOT #	LOT AREA Sq.Ft.	ENVELOPE Sq.Ft.	PROPOSED				DEDICATED NAOS			
			NAOS Sq.Ft.	NATURAL Sq.Ft.	REVEG. Sq.Ft.	TOTAL Sq.Ft.	NAOS Sq.Ft.	NATURAL Sq.Ft.	REVEG. Sq.Ft.	RECORDED DOC.
1A	82376.00	23384.00	82376.00	57534.00	4572.00	63106.00				20210253850
2A	82392.00	26106.22	82392.00	55323.00	3423.00	56745.00				20210011359
3A	41213.00	23346.00	17873.00	17375.00	498.00	17873.00				20210725733
4A	20656.00	24325.00	6631.00	61405.00	4919.00	63231.00				20200927567
5A	42738.00	12977.00	24821.00	22821.00	2056.00	24821.00				20210302725
6A	4130.00	17354.00	22579.00	26703.00	3673.00	22579.00				20211131962
7A	3714.00	22997.00	14647.00	11341.00	3176.00	14647.00				20200527238
8A	78037.00	17511.00	45868.00	39860.00	5966.00	45868.00				20200527230
9A	53389.00	24413.00	40973.00	5184.00	30675.00	40973.00				20210311841
10A	54969.00	10885.00	26103.00	24408.00	3607.00	26103.00				20200631984
11A	08060.00	27914.34	40662.00	44913.00	7949.00	40662.00				20200929192
12A	47892.00	23718.00	24274.00			24274.00				By Others
13A	53572.00	24415.00	29152.00			29152.00				By Others
14A	43368.00	12064.00	42564.00	15279.00	3607.00	42564.00				20200116386
15A	41054.00	12061.84	21150.42			21150.42				By Others
16A	48372.00	29951.29	10420.71			10420.71				By Others
17A	53114.00	24360.00	34814.00	28794.00	6020.00	34814.00				20200610272
18A	94656.00	82733.00	54411.00	53939.00	9465.00	54411.00				20200704610
19A	7257.00	5588.63	4088.35			4088.35				By Others
20A	736.00	51083.31	35901.69			35901.69				By Others
21A	34025.00	85781.11	44463.79			44463.79				By Others
22A	03441.00	42005.00	42364.00	7774.00	41734.00	42364.00				20200103738
23A	49726.00	25540.00	17966.00	14311.00	3845.00	17966.00				20200431678
24A	52598.00	27680.00	31948.00	29022.00	2716.00	31948.00				20200215151
25A	82620.00	23113.00	51817.00	44588.00	8569.00	51817.00				20210826311
26A	29050.00	17980.00	17192.00	27225.00	1172.00	17192.00				20210309111
27A	12763.00	16572.00	32191.00	71182.01	31106.29	32191.00				20200801250
28A	63784.00	75510.00	8374.00	1668.00	0.00	1668.00				20200801250
29A	75453.00	25123.00	30330.00			30330.00				20200801250
7	19045.00	28170.00	162873.00	155983.00	6972.00	162873.00				20210411976
8	105374.00	25776.00	79598.00	74501.00	5697.00	79598.00				20210640038
9	105348.00	40286.00	65662.00	64573.00	539.00	65662.00				20200450180
10	15590.00	87871.00	73471.00	71037.00	1486.00	73471.00				20200728396
11	93846.00	44780.00	28903.00	54011.00	4857.00	28903.00				20200215380
12	13473.00	44096.00	89973.00	87569.00	2706.00	89973.00				20200233065
13	93632.00	15982.00	61340.00	61099.00	733.00	61340.00				20200610088
16	97484.00	17810.00	70671.00	74007.00	167.00	70671.00				20200408810
17	13306.00	43131.00	75895.00	71056.00	4303.00	75895.00				20200955329
18	71230.00	13951.00	36177.00	54047.00	3620.00	36177.00				20200557560
19	11761.00	87067.00	30794.00	64644.00	1130.00	30794.00				20200807666
20	96206.00	33932.00	65564.00	63591.00	2863.00	65564.00				20200956771
31	77558.00	12228.00	10263.00	50370.00	360.00	50370.00				20200956157
32	88213.00	15605.00	87307.00	51035.00	7673.00	87307.00				20200927567
33	87380.00	49482.00	51446.00	47165.00	5963.00	51446.00				20200309846
34	93638.00	16964.00	50170.00	64287.00	9897.00	50170.00				20210202970
35	66529.00	25877.00	41472.00	34280.00	7192.00	41472.00				20200402934
36	81365.00	11511.00	70014.00	47084.00	4730.00	70014.00				20210434607
37	102324.00	51090.00	65143.00	68913.00	2261.00	65143.00				20210405885
38	82566.00	13466.00	14480.00	48731.00	2227.00	14480.00				20200202188
39	96530.00	25296.77	27671.00	56002.00	1469.00	27671.00				20200573702
40	74716.00	25317.00	45379.00	41248.00	4131.00	45379.00				20200202507
41	95712.00	14861.00	69911.00	48988.00	11923.00	69911.00				20201342488
42	14272.00	13051.00	51447.00	48552.00	2697.00	51447.00				20200301722
43	73676.00	24322.00	48854.00	41414.00	7740.00	48854.00				20200536761
44	88803.00	13063.00	55740.00	51237.00	2503.00	55740.00				20200836807
45	10213.00	22282.00	77031.00	78133.00	878.00	77031.00				20200403952
46	10213.00	22282.00	40185.00	67205.00	1806.00	40185.00				20200403952
TRACT A	144876.93	0	0	0	0	0				
TRACT AA	11385.04	0	0	0	0	0				
TRACT B	4672.89	0	0	0	0	0				
TRACT BB	11312.04	0	0	0	0	0				
TRACT C	23626.00	0	23626	23626	0.00	23626				20070370397
TRACT CC	11571.04	0	0	0	0	0				
TRACT D	15161.07	0	15781	15781	0.00	15781				20210011098
TRACT DD	27108.00	0	26247	26247	561	26247				20200925467
TRACT E	48207.11	0	482121	482121	0.00	482121				20070370397
TRACT F	9708.06	0	0	0	0	0				
Total	282365.87 Sq.Ft.		3500825.03			3500825.32 Sq.Ft.				
	131.60 Ac.		80.51			80.57 Ac.				






PHASE 2 - NAOS DATA TABLE

LOT #	LOT AREA Sq.Ft.	ENVELOPE Sq.Ft.	PROPOSED				DEDICATED NAOS			
			NAOS Sq.Ft.	NATURAL Sq.Ft.	REVEG. Sq.Ft.	TOTAL Sq.Ft.	NAOS Sq.Ft.	NATURAL Sq.Ft.	REVEG. Sq.Ft.	RECORDED DOC.
63A	36205.00	35384	13833	173834	4257	13833				20220355568
61A	122392	26106	92254			92254				
62A	117624	43024	74063			74063				
60A	107296	35204	78246			78246				
59A	87310	72128	51360			51360				
58A	54807	29768	65129			65129				
57A	123037	26031	98706			98706				
56A	48503	97748	10574			10574				
55A	87200	30121	36179			36179				
54A	74725	23670	51305			51305				
53A	53316	38104	34235			34235				
52A	48619	28423	20146			20146				
51A	45444	28499	18955			18955				
50A	35570	20329	15290			15290				
49A	55516	27610	77749			77749				
48A	48400	23862	25208			25208				
47A	29067	27461	33560			33560				
46A	86932	31354	49138			49138				
45A	57698	23418	28335			28335				
44A	54423	21394	33329			33329				
43A	72117	33594	38513			38513				
42A	61789	24700	39548			39548				
TRACT A	141281	0	0	0	0	0				
TRACT AA	13866	0	0	0	0	0				
TRACT BB	9853	0	9853	9853	796	9853				04/14/20
TRACT C	466	0	0	0	0	0				
TRACT CC	9726	0	0	0	0	0				
TRACT DD	36935	0	36935	36935	1563	36935				04/14/20
TRACT E	14700	0	6249	6249	174	6249				04/14/20
TRACT EE	36935	0	0	0	0	0				
TRACT FF	18806	0	0	0	0	0				
TRACT GG	7141	0	7141	7141	842	7141				04/14/20
Total	2027441.00 Sq.Ft.		1183833.00			959942 Sq.Ft.				
	46.54 Ac.		27.17			22.03 Ac.				

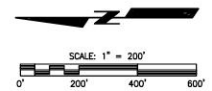
PHASE 3 - NAOS DATA TABLE

LOT #	LOT AREA Sq.Ft.	ENVELOPE Sq.Ft.	PROPOSED				DEDICATED NAOS			
			NAOS Sq.Ft.	NATURAL Sq.Ft.	REVEG. Sq.Ft.	TOTAL Sq.Ft.	NAOS Sq.Ft.	NATURAL Sq.Ft.	REVEG. Sq.Ft.	RECORDED DOC.
14	30121	25613	53508	52021	896	53508				20210579820
15	102035	21056	70748	72808	2992	70748				20200307744
16	110667	31130	79517	72588	968	79517				20210705580
17	117787	38181	82786	80177	2909	82786				20210011569
18	73388	34100	39290	33407	811	39290				20210823300
19	89640	24560	64380	50790	4562	64380				20210309880
43A	62114	30145	32029	30875	1154	32029				20220824136
44A	59817	21634	37983	34832	3451	37983				20220410750
45A	71776	23642	48734	44441	4313	48734				20210388913
46A	79647	70717	49473	43078	4414	49473				20210934807



- LEGEND**
-  DEDICATED NAOS
 -  PROPOSED NAOS
 -  NAOS BOUNDARY LINE
 -  LOT BOUNDARY LINE
 -  SERENO CANYON PHASE LINE
 -  LOT OWNED BY OTHERS

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ARGUS CONSULTING
A CIVIL ENGINEERING COMPANY, P.C.
10115 E. Bell Road, Suite 107 - #104
Scottsdale, Arizona 85260 480-596-1131

SERENO CANYON
NAOS PLAN
SCOTTSDALE -- ARIZONA

Date 5/30/13 Job No. 385-17 Sheet 2 of 2

FILE NAME: 385-17-13
DATE: 5/30/13